

To: Communities, Housing and Planning Policy Board
On: 12 March 2019

Report by: Director of Communities, Housing and Planning

Heading: Renfrewshire Local Development Plan – Proposed Plan (2019)

1 Summary

- 1.1 This report presents the Renfrewshire Local Development Plan – Proposed Plan and supporting documents and seeks approval of the Board to consult for a period of 12 weeks to obtain the views of stakeholders.
 - 1.2 The Proposed Plan presents the Council's settled view on land use priorities and associated policies that will guide planning decisions in Renfrewshire for the next 5 years.
 - 1.3 The Proposed Plan is supported by an Environmental Report, Habitats Regulations Appraisal, Action/Delivery Programme and a number of background papers which are available to view on the Renfrewshire Council website <http://www.renfrewshire.gov.uk/article/3070/Preparation-of-the-Next-LocalDevelopment-Plan>.
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2 Recommendations

- 2.1 It is recommended that the Board:
 - (i) approves the Renfrewshire Local Development Plan – Proposed Plan, Supplementary Guidance and Action/Delivery Programme for publication for a 12 week public consultation; and
 - (ii) approves and authorises the publication of the updated Environmental Report, Habitats Regulations Appraisal and other background papers in support of the Renfrewshire Local Development Proposed Plan.
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3 Background

- 3.1 The preparation of the Renfrewshire Local Development Plan Proposed Plan is an important milestone in the replacement of the current Renfrewshire Local Development Plan which was adopted in 2014.
- 3.2 The preparation of the Local Development Plan Proposed Plan commenced in 2015 and has involved extensive consultation and engagement with a range of stakeholders.
- 3.3 The first key stage in the preparation of the new Renfrewshire Local Development Plan was reached in January 2017 with the publication of the Main Issues Report. A 16 week consultation on the Main Issues Report generated 240 representations.
- 3.4 Analysis and consideration of the comments raised has been undertaken along with the direction given by national policy and the strategy set out by Clydeplan Strategic Development Plan (2017) in preparing the Renfrewshire Local Development Plan Proposed Plan.

4. Renfrewshire Local Development Plan – Proposed Plan

- 4.1 The Renfrewshire Local Development Plan Proposed Plan in line with the aspirations, vision and outcome measures of Our Renfrewshire Community Plan (2017- 2027) provides a framework for the protection and enhancement of Renfrewshire's diverse natural environment and built and cultural heritage assets, the delivery of economic and infrastructure investment and it guides the future use of land to assist in creating strong communities and attractive places.
- 4.2 The Local Development Plan continues to be split into five themes with policies setting out the Council's requirements for achieving high quality development.
- 4.3 A summary of each theme including key additions to the strategy from the adopted Renfrewshire Local Development Plan are set out below:
 - **Economy** - Directs economic investment to the right locations to assist the delivery of sustainable and inclusive economic growth. The Plan includes a new City Deal Policy and supports the expansion of employment land adjacent to Glasgow Airport to deliver the Advanced Manufacturing and Innovation District Scotland.
 - **Centres** – Supports the delivery of the Centre Strategies and investment in Renfrewshire's Centres promoting vibrant, well designed and accessible places which offer a range and choice of uses and activities.

- **Infrastructure** - Supports sustainable communities ensuring development is supported by existing or proposed infrastructure, people and places are well connected through a range of travel and transport networks and access is provided to digital communication networks.
- **Places** – Housing delivery continues to be focused on the redevelopment of brownfield land and previously used land.

A new policy on affordable housing ensures new development proposals provide a mix of housing types and tenures.

There is a greater focus on the delivery of housing that meets the needs of key groups including older people, families with children, newly forming households and people with disabilities along with a new policy which assist in the identification of Gypsy/Traveller and Travelling Show people sites.

The Proposed Plan also identifies 7 Settlement Plans covering all of Renfrewshire which can be used by local communities to inform the preparation of Local Place Plans for local people to shape their area.

- **Environment** – Enhanced protection of the natural environment and built and cultural heritage of Renfrewshire. The Plan includes new policies which protect Renfrewshire's natural resources including carbon rich soils and support the temporary greening of land that is awaiting development.

- 4.4 The New Development Supplementary Guidance and Action/Delivery Programme have been updated alongside the Renfrewshire Local Development Plan Proposed Plan.
- 4.5 The Supplementary Guidance provides detailed policy advice with an emphasis on place making. The Action/Delivery Programme sets out what actions are needed for successful implementation of the Local Development Plan along with who is responsible and expected timescales for implementation.
- 4.6 The Local Development Plan Proposed Plan has been subject to a Habitat Regulations Appraisal and a Strategic Environmental Assessment which is contained within the Environmental Report. These documents have influenced the preparation of the Proposed Plan and assess the likely impact of the Plan on the environment.
- 4.7 There are a number of other background technical reports to support the publication of the Renfrewshire Local Development Plan Proposed Plan.
- 4.8 These background documents will be available to view during the consultation period at <http://www.renfrewshire.gov.uk/article/3070/Preparation-of-the-Next-LocalDevelopment-Plan>

5 Next Steps

- 5.1 Once approved the Local Development Plan Proposed Plan becomes the settled view of the Council and will be a material planning consideration in the assessment of planning applications.
- 5.2 A 12 week consultation period will commence on 18th March 2019. During this time representations to any part of the Plan can be made.
- 5.3 The consultation period will be advertised in the local press and Community Councils, community groups and other interested parties will be notified directly.
- 5.4 Copies of the Plan and associated documents will be available at Renfrewshire House and all Council libraries. All the information will be published on the Council's web site.
- 5.5 Once the consultation period has ended, the Council must consider all representations received and decide if it wishes to amend the Local Development Plan as a consequence. If no significant changes are proposed a summary of any unresolved representations must be prepared before being submitted to the Scottish Ministers.
- 5.6 Following this the Scottish Ministers will appoint a Reporter to hold an Examination to consider any unresolved representations. The Reporter will provide recommendations to the Council and the Scottish Ministers on whether changes should be made to the Plan.
- 5.7 The Council must take on board these recommendations before proceeding to adopt the Plan.

Implications of the Report

1. **Financial** - None
2. **HR & Organisational Development** - None
3. **Community/Council Planning** –

Reshaping our place, our economy and our future – The Plan is a key document in establishing a land use framework for supporting, encouraging and delivering economic development in Renfrewshire through investment and regeneration.

Creating a sustainable Renfrewshire for all to enjoy – The Plan promotes the principles of sustainable development and provides a framework to deliver integrated green infrastructure where people can enjoy the natural and built environment along with protecting and enhancing it for future generations.

4. **Legal** - None

5. **Property/Assets** - None
 6. **Information Technology** - None
 7. **Equality & Human Rights** - The Recommendations contained within this report have been assessed in relation to their impact on equalities and human rights. No negative impacts on equality groups or potential for infringement of individuals' human rights have been identified arising from the recommendations contained in the report. If required following implementation, the actual impact of the recommendations and the mitigating actions will be reviewed and monitored, and the results of the assessment will be published on the Council's website.
 8. **Health & Safety** - None
 9. **Procurement** - None
 10. **Risk** - None
 11. **Privacy Impact** - None
 12. **Cosla Policy Position** - None
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List of Background Papers

- (a) Renfrewshire LDP – New Development Supplementary Guidance
- (b) Renfrewshire Local Development Plan – Action / Delivery Programme
- (c) Renfrewshire Local Development Plan – Updated Environmental Report
- (d) Renfrewshire Local Development Plan – Habitats Regulations Appraisal
- (e) Housing Background Paper
- (f) Housing Site Assessments
- (g) Greenbelt Review
- (h) Landscape Assessment
- (i) Open Space Survey
- (j) Transport Appraisal
- (k) Strategic Flood Risk Assessment
- (l) Equality Impact Assessment

The foregoing background papers will be retained within Communities, Housing and Planning Services for inspection by the public for the prescribed period of four years from the date of the meeting.

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FC/SM
20 February 2019



Renfrewshire Local Development Plan

Proposed Plan 2019 (DRAFT)



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Foreword

I am delighted to present the Local Development Plan Proposed Plan for Renfrewshire which sets out the ambitious vision, an inclusive spatial strategy, sustainable objectives and updated policies for Planning in Renfrewshire for the next 10 years.

In setting an ambitious framework the Local Development Plan Proposed Plan aims to assist the delivery of sustainable and inclusive economic growth alongside protecting and enhancing Renfrewshire’s cultural and heritage assets, continuing to make it a successful place.

The Renfrewshire Local Development Plan Proposed Plan represents the settled view of the Council, a clear vision for Renfrewshire as a place where we work in partnership with all our stakeholders and communities.

The aim of a clear and concise Plan is to ensure that the right development happens in the right places, with high quality design, energy efficient and low carbon developments that will benefit our communities, safeguarding our environment as well as our natural, built and cultural heritage.

The attractiveness of Renfrewshire is strongly influenced by its connectivity and ease of which people can access its assets. The next Renfrewshire Local Development Plan will also emphasise the ‘Getting it right for every child’ approach. It will focus on inclusivity for all, ensuring the needs of people of different ages and physical abilities are taken into account, contributing to the health and wellbeing of all.

Councillor Marie McGurk, Convenor of the Communities, Housing and Planning Policy Board.

INTRODUCTION

The Renfrewshire Local Development Plan sets out an ambitious Spatial Strategy that provides a framework for the protection and enhancement of Renfrewshire's diverse natural environment and built and cultural heritage assets, the delivery of economic and infrastructure investment and it guides the future use of land to assist in creating strong communities and attractive places.

With a focus on supporting sustainable and inclusive economic growth, the Local Development Plan sets out where future development should and should not occur, identifying opportunities for change, regeneration and enhancement, directing developments to the most sustainable locations.

The preparation of the Renfrewshire Local Development Plan is a legislative requirement which sets out the land use planning framework for Renfrewshire, providing a concise, map-based, guide for shaping the area over the next 10 years.

The plan provides an up to date policy framework in line with the requirements of Scottish Planning Policy, National Planning Framework, Clydeplan's Strategic Development Plan and Renfrewshire's Local Housing Strategy.

This is the second Local Development Plan for Renfrewshire which will replace the Local Development Plan that was adopted in August 2014. The Plan has been informed by extensive consultation and a range of plans, policies and strategies as shown in Figure 1.

The Development Plan

The Development Plan for Renfrewshire consists of:

- Clydeplan Strategic Development Plan; and,
- The Renfrewshire Local Development Plan.

The Clydeplan Strategic Development Plan sets out a vision and strategy for the Clydeplan area focusing on strategic land use and planning policy issues. The Local Development Plan sets the local perspective for Renfrewshire.

Both plans must be consistent with the National Planning Framework and Scottish Planning Policy which set priorities and provide further guidance at a national level.

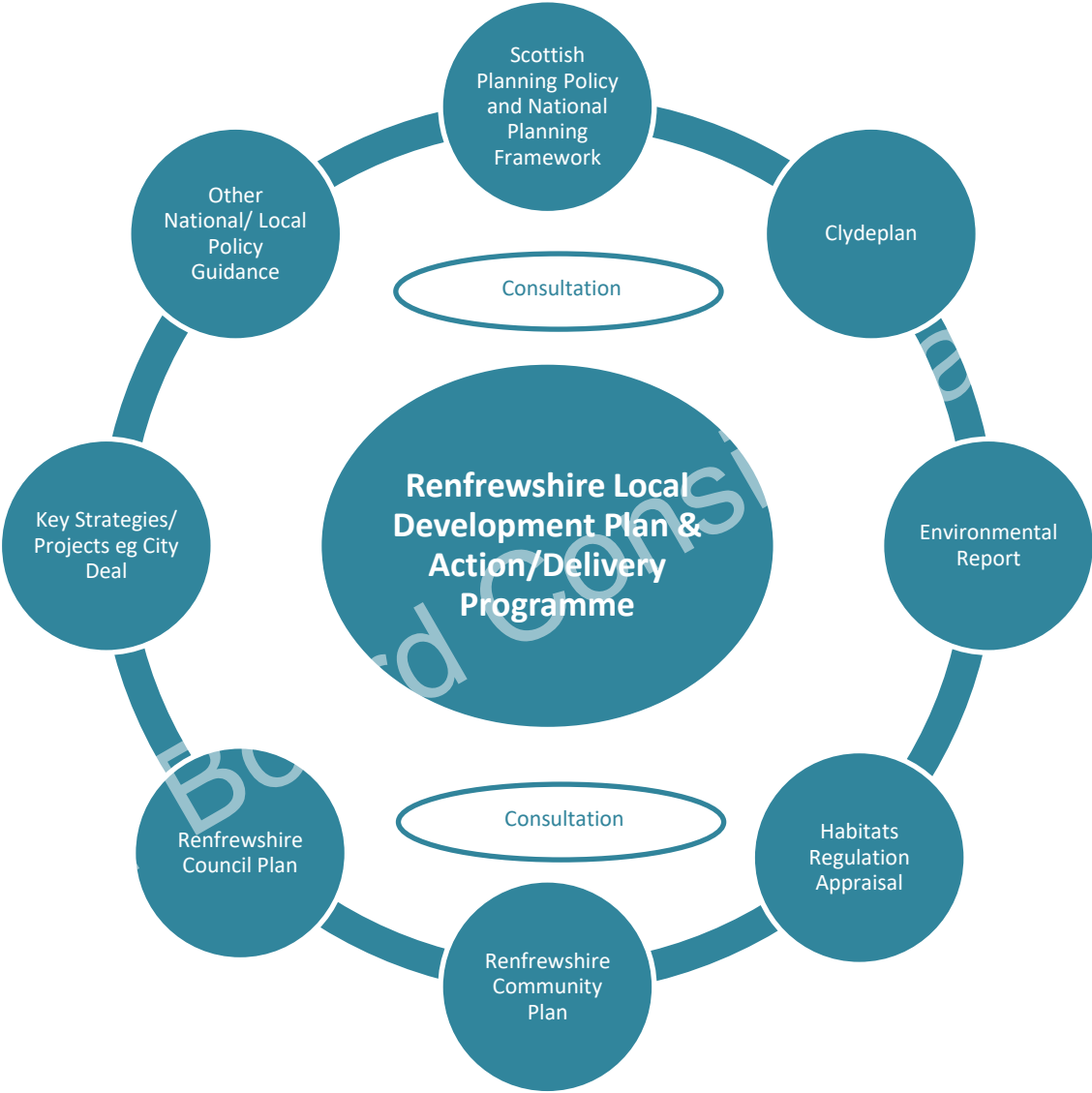
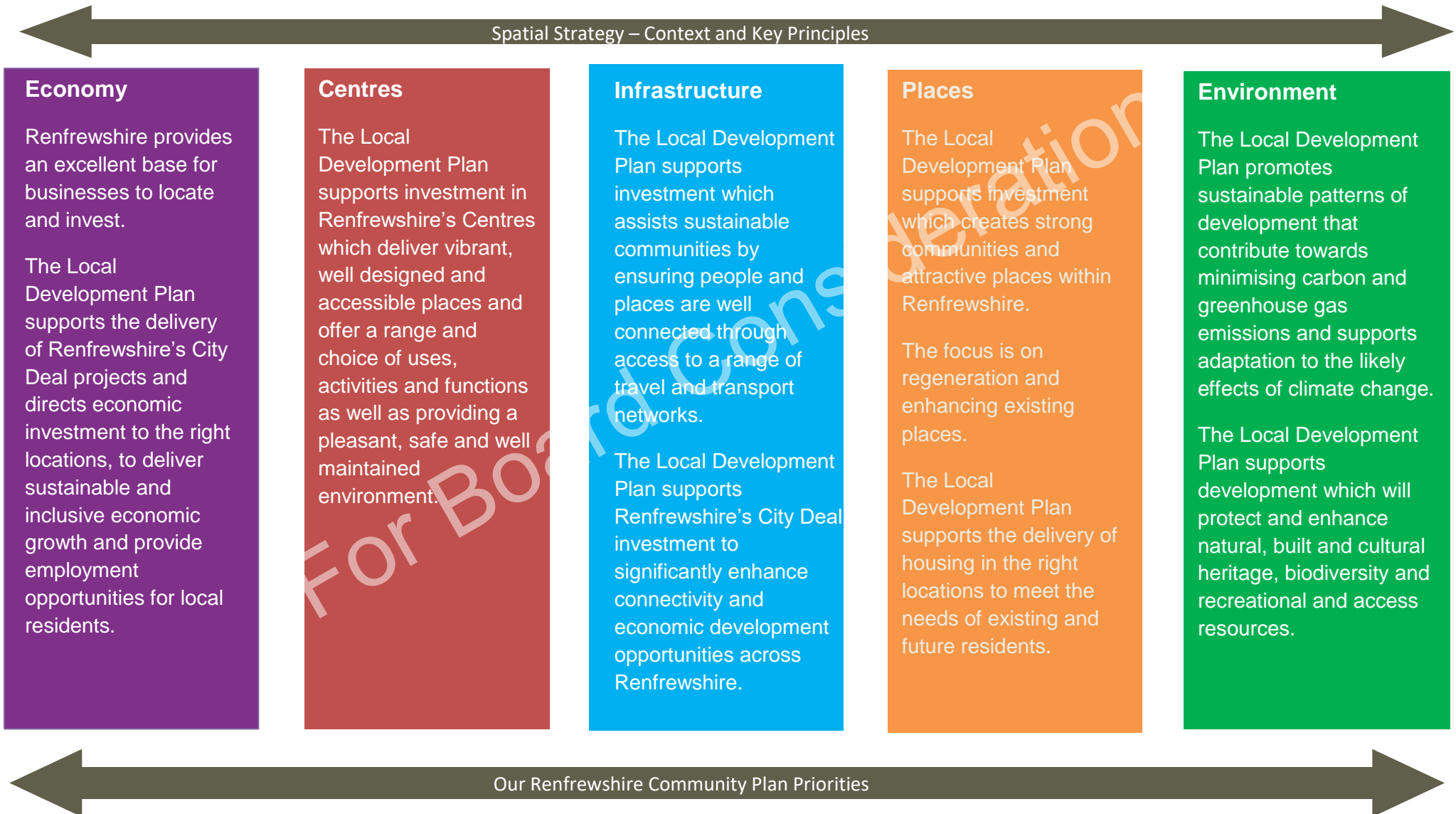


Figure 1 – Preparation of Local Development Plan

FORMAT OF THE PLAN

The Renfrewshire Local Development Plan is in two parts. This document is the first part and sets out the overall Spatial Strategy for Renfrewshire with a detailed policy framework and placemaking proposals structured around five themes: **Economy**; **Centres**; **Infrastructure**; **Places**; and **Environment**.



New Development Supplementary Guidance

The second part of the Local Development Plan is the New Development Supplementary Guidance which provides more detailed criteria and guidance for assessing new development.

The New Development Supplementary Guidance outlines what developers need to do in designing, delivering and implementing development, with an emphasis on place making and sustainable development.

The format of the Supplementary Guidance is similar to this document as it is structured around the same five themes. Together these documents constitute the Renfrewshire Local Development Plan.

Action/Delivery Programme

Successful implementation of the Spatial Strategy requires a comprehensive delivery model. An Action/Delivery Programme has been prepared to accompany the Local Development Plan. It sets out a package of actions to enable delivery of potential development opportunities and outlines who is responsible for delivery, the financial requirements and the potential timeframe.

The Action/Delivery Programme will be monitored, updated regularly and published every two years.

Supporting Documents

The Renfrewshire Local Development Plan is supported by a number of other documents. All of which are available on the Council website at www.renfrewshire.gov.uk. They include:

- An Environmental Report which has been prepared alongside the Local Development Plan to inform the formulation of the policies and proposals for the Local Development Plan in particular to assess the likely impact of policies on the environment; and,
- A Habitats Regulation Appraisal has been prepared to ensure that the policies, proposals and strategies do not have an adverse effect on the integrity of the three Special Protection Areas within Renfrewshire.

SPATIAL STRATEGY

In line with the aspirations, vision and outcome measures of Our Renfrewshire Community Plan (2017- 2027) and the Council Plan, the Local Development Plan Spatial Strategy focuses on place making and development within existing built-up areas and key redevelopment sites, aiming to facilitate sustainable development and a low carbon economy providing high quality new development in the right locations.

The vast majority of Renfrewshire is rural; by concentrating development in mainly urban areas this strategy protects many of the valuable assets and resources of Renfrewshire.

The policies and proposals aim to provide the balance between the need to protect and enhance the environment in Renfrewshire as well as promoting development activity, new investment and sustainable and inclusive economic growth.

Implementing the Spatial Strategy

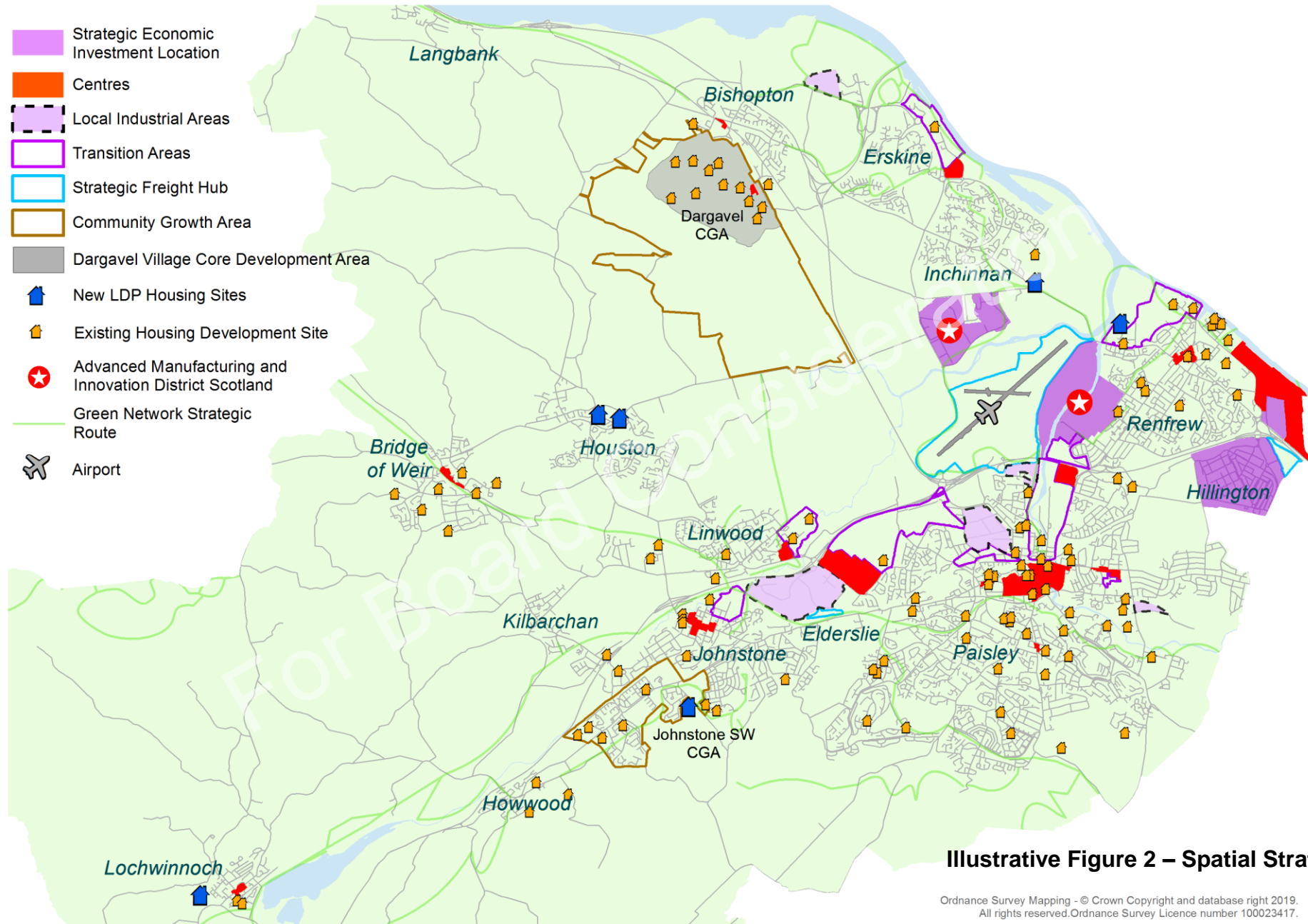
All development proposals will require to be considered in relation to the Spatial Strategy diagram Figure 2.

New development will be supported where it aims to incorporate the following criteria (where relevant):

- Supports sustainable and inclusive economic growth and/or is related to the delivery of City Deal investment;
- Contributes positively to the character and appearance of the place, benefiting the amenity of the area and protecting and enhancing the natural, built and cultural heritage and it's setting;
- Will regenerate and invest in Renfrewshire's Network of Centres;
- The design of new development is demonstrated to benefit the area by following the principles of 'Renfrewshire's Places' Design Guidance;
- Development is supported by existing or planned infrastructure;
- Buildings and structures are designed to support the enhancement and delivery of low carbon generating technology to reduce emissions; and,
- The development does not have an adverse effect on the integrity of any sites protected as a Natura 2000 site.

The Local Development Plan must be applied in its entirety. All development proposals must be assessed against the Spatial Strategy, Policies, the Proposals Maps, the Placemaking Plans and the New Development Supplementary Guidance, to ensure compliance with the overall Spatial Strategy for Renfrewshire.

SPATIAL STRATEGY



Illustrative Figure 2 – Spatial Strategy

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DELIVERING THE SPATIAL STRATEGY - ECONOMY



Renfrewshire provides an excellent base for businesses to locate and invest. The Renfrewshire Local Development Plan seeks to maximise the economic potential of Renfrewshire, supports new investment which strengthens Renfrewshire's diverse economy and delivers sustainable and inclusive economic and employment growth.

The Renfrewshire Local Development Plan supports the delivery of the Council's Strategic Economic Framework and directs economic investment to the right locations.

Renfrewshire's Economic Investment Locations

The Renfrewshire Local Development Plan identifies a generous supply of land to meet the diverse needs of the economy and guides significant investment opportunities to Renfrewshire's Economic Investment Locations.

Economic investment land is in sustainable locations, close to existing transport networks with much of the key infrastructure already in place.

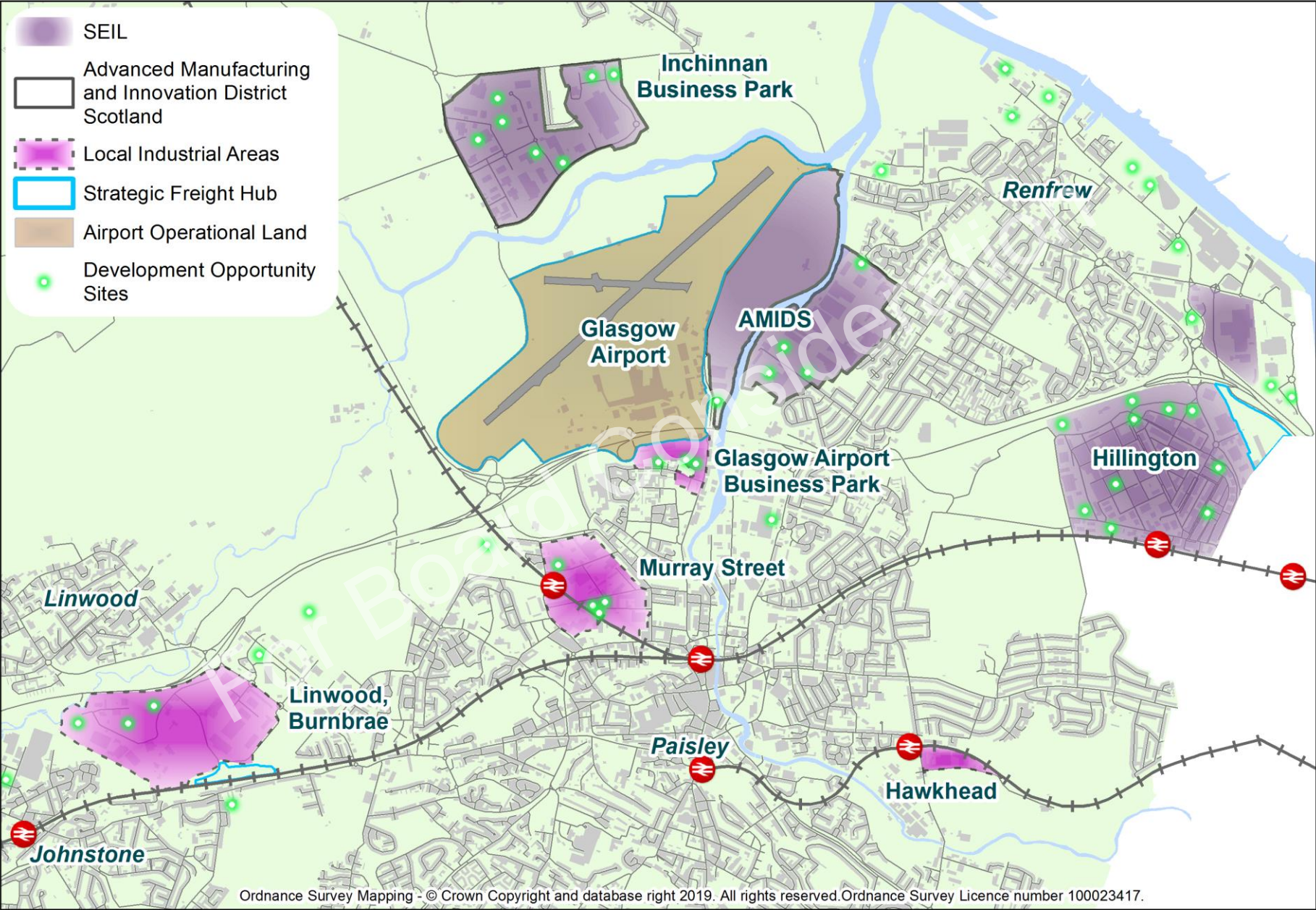
Renfrewshire's Economic Investment Locations are shown on Figure 3 with additional information on the development opportunities at the Advanced Manufacturing and Innovation District Scotland (AMIDS) and Hillington Business Park set out in Figure 4 and 5. Information on the role and function of each Economic Investment Location is set out in the New Development Supplementary Guidance.

Local Development Plan Objectives - Economy

- **Development locations supported by existing or planned physical infrastructure and services**
- **Deliver sustainable and inclusive economic growth by providing and maintaining accessible employment opportunities**
- **Utilise City Deal investment as a catalyst for regeneration and economic growth**



DELIVERING THE SPATIAL STRATEGY - ECONOMY



Illustrative Figure 3 – Renfrewshire’s Economic Investment Locations

City Deal Investment

A major opportunity for the delivery of economic development in Renfrewshire will be the successful implementation of Renfrewshire's City Deal projects. The City Deal programme aims to drive innovation and growth, bringing new employment opportunities to Renfrewshire.

Renfrewshire's City Deal projects will unlock the development potential of key sites and establish programmes to support unemployed people and people on low incomes across Renfrewshire.

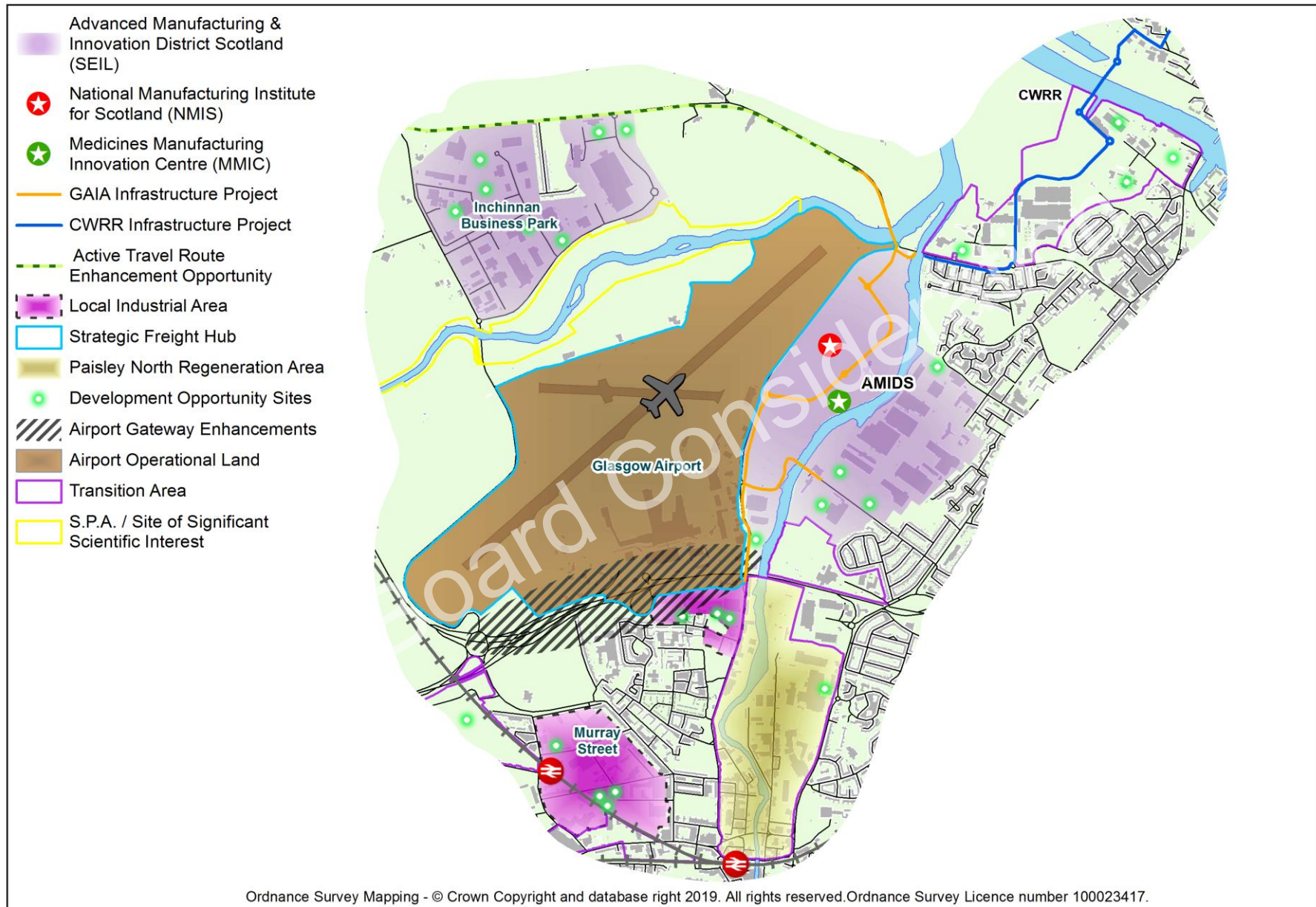
The Renfrewshire Local Development Plan focuses on maximising the benefits of City Deal investment ensuring economic growth is supported by infrastructure and that the investment maximises the benefits for local people as well as the wider Renfrewshire economy.

The Plan supports City Deal investment setting a framework to support a range of employment locations, housing development sites, the integration of key infrastructure and the protection and enhancement of environmental assets to ensure that the expected sustainable and inclusive economic growth from the investment is supported across Renfrewshire.

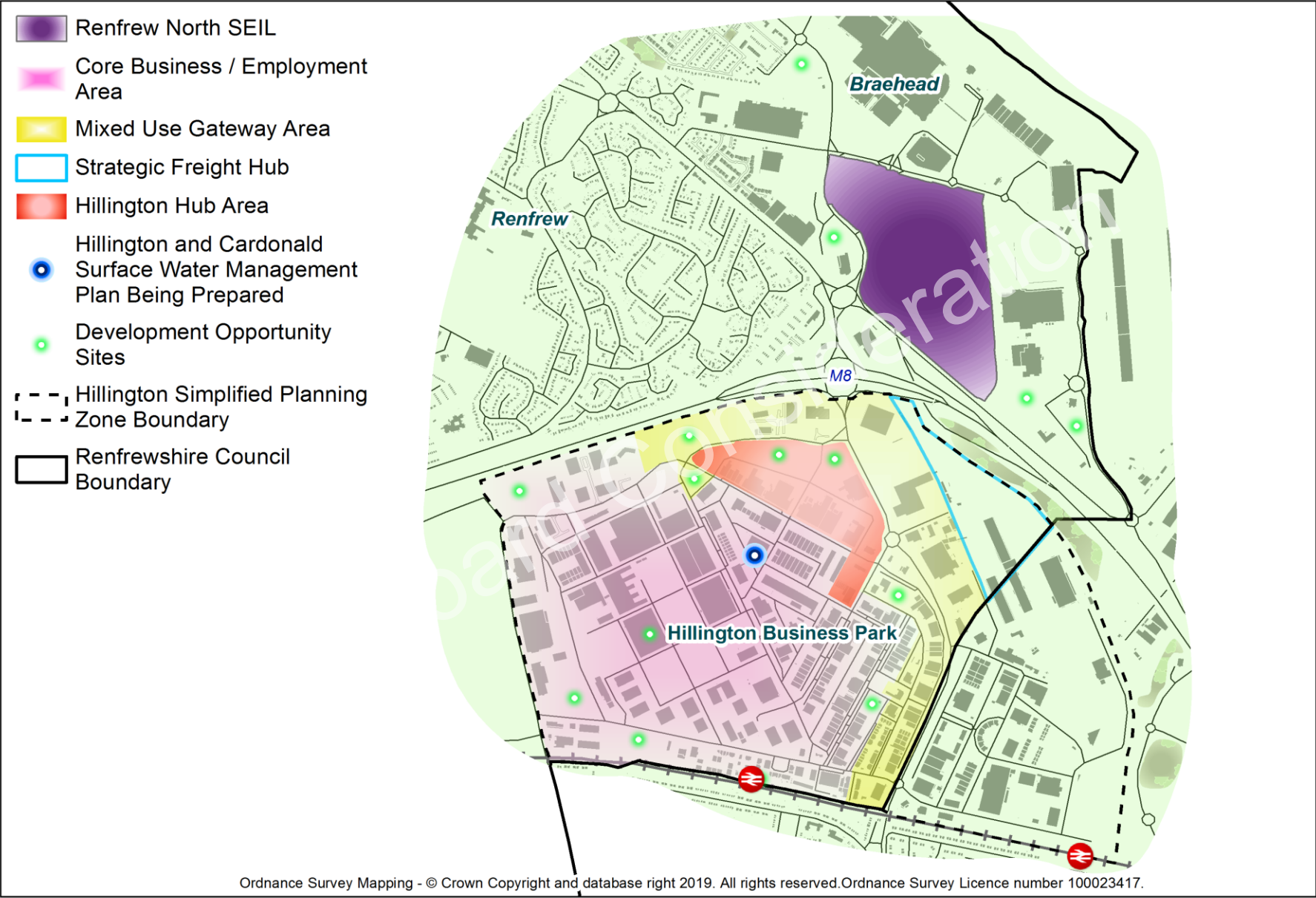
City Deal investment aims to provide enabling infrastructure to deliver a new 130-acre business and manufacturing innovation location next to Glasgow Airport. The National Manufacturing Institute for Scotland and Medicines Manufacturing Innovation Centre are the anchor investors of the Advanced Manufacturing and Innovation District Scotland which will be the catalyst for the creation of significant employment opportunities ensuring Renfrewshire is at the centre of innovation in manufacturing and future inclusive economic growth in Scotland.



DELIVERING THE SPATIAL STRATEGY - ECONOMY



Illustrative Figure 4 – City Deal Investment Framework



Illustrative Figure 5 - Hillington and Renfrew North Strategic Economic Investment Location

Transition Areas

Transition Areas are primarily on land where change is anticipated and encouraged.

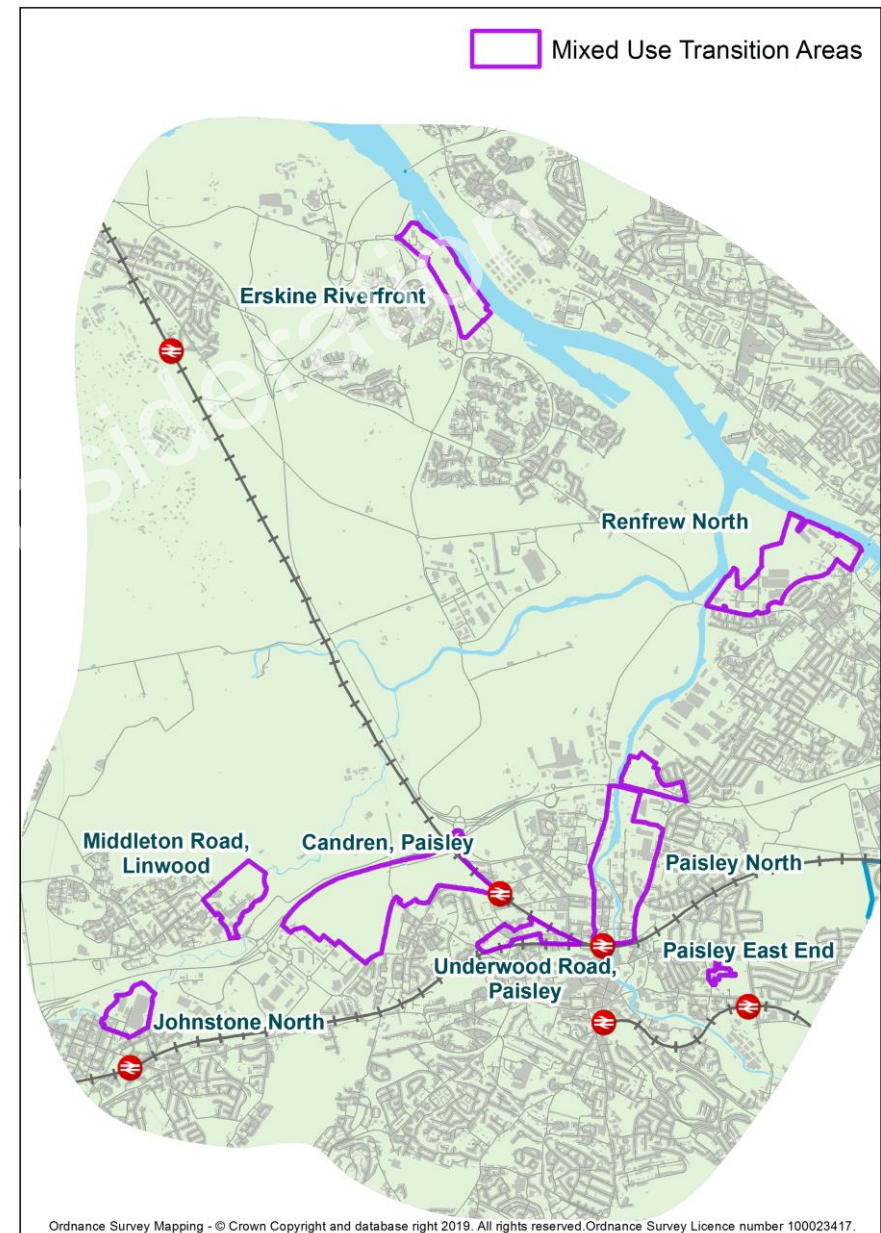
The Renfrewshire Local Development Plan supports a range of uses within these areas to encourage new investment and create attractive places to live and work. The re-development of these areas requires to be compatible with the surrounding area ensuring that there is no significant impact on existing uses and that development fits well with the existing place.

Tourism

There is revitalised recognition of the built, natural, cultural and heritage tourism offering of Renfrewshire and the important contribution that the tourism sector makes to the Renfrewshire economy.

Renfrewshire's Visitor Plan looks to build on the rich offering and increasing visitor numbers and sets out an ambitious vision to further develop Renfrewshire as a visitor destination with plans in place to increase visitor numbers by 4% each year.

The Renfrewshire Local Development Plan supports this vision and promotes sustainable tourism and heritage development which will create new facilities and attractions as well as maintain and enhance existing facilities, Conservation Areas and Listed Buildings.



Illustrative Figure 6 - Transition Areas

DELIVERING THE SPATIAL STRATEGY - ECONOMY

POLICY E1 – Renfrewshire’s Economic Investment Locations

Renfrewshire’s Economic Investment Locations are identified and promoted for the development of Class 4 Business, Class 5 General Industry and Class 6 Storage and Distribution development as well as ancillary service provision, along with support for a wider range of employment generating uses.

All proposals for employment generating uses not listed in Use Classes 4, 5 & 6 require to demonstrate:

- the resultant economic impact of the proposed development including the number of additional employment opportunities to be created; and,
- that proposals would not have a significant detrimental impact on the role and function of the Economic Investment Location, the vitality and viability of Renfrewshire’s Network of Centres, transport infrastructure and the built and/or natural environment of the area.

Development proposals must demonstrate that development does not have an adverse effect on the integrity of any Natura 2000 sites.

Figure 1 within the New Development Supplementary Guidance sets out the role and function of Renfrewshire’s Economic Investment Locations.

Policy E2 – City Deal Investment Framework

City Deal investment aims to make a significant contribution to the Renfrewshire economy and sustainable and inclusive economic growth including: increased employment; the health of Renfrewshire’s Centres; the delivery of new homes; the visitor economy; and, enhanced accessibility and connectivity across Renfrewshire.

In line with the Renfrewshire Local Development Plan Spatial Strategy the delivery of Renfrewshire’s City Deal infrastructure projects as set out in Figure 4 and associated development proposals across Renfrewshire will be supported to ensure the anticipated economic benefits are fully realised.

All development proposals associated with the delivery of City Deal investment will be considered in relation to the Renfrewshire Local Development Plan Spatial Strategy and require to be assessed against the relevant Local Development Plan policies and the New Development Supplementary Guidance. Development proposals must demonstrate that development does not have an adverse effect on the integrity of any Natura 2000 sites.

DELIVERING THE SPATIAL STRATEGY - ECONOMY

Policy E3 – Transition Areas

Transition Areas aim to support a mix of uses.

Development proposals or a change of use within Transition Areas require to be able to co-exist with existing uses, having no significant effect on the character and amenity of the surrounding area and demonstrate that it does not have an adverse effect on the integrity of any Natura 2000 sites. Figure 2 within the New Development Supplementary Guidance lists the areas identified as being in transition and the acceptable uses within these sites.

Policy E4 – Tourism

Proposals for sustainable tourism development including new or expanded tourism-related facilities will be supported where it can be demonstrated that:

- The proposed development is capable of strengthening the appeal and attraction of Renfrewshire to a range of visitors;
- The scale of the proposal is proportionate, fits in well with the location and would be compatible with neighbouring land uses;
- The development will complement existing/proposed tourist facilities in that area;
- Additional visitors that may be attracted to the area can be accommodated by existing infrastructure or improvements to facilities; and,
- The development can demonstrate a site specific locational need.

POLICY E5 – Glasgow Airport

The Glasgow Airport Operational Land, as shown on the Proposals Maps, is a key location which will support economic growth and the requirements of the airport including sustainable transport and travel. Within the Glasgow Airport Operational Land there will be a presumption in favour of uses associated with the operational functions of the airport or, uses which are compatible and do not compromise the airport operation or functionality.

Development proposals in or around the airport should not have a significant adverse impact on the operation and/or infrastructure of the airport, the delivery of City Deal infrastructure investment, the environment and it must be demonstrated that it does not have an adverse effect on the integrity of any Natura 2000 sites.

Note: New Development Supplementary Guidance

All Developments also require to be assessed in relation to the New Development Supplementary Guidance.

Supporting Sustainable Economic Growth

The Economy Section aims to support the delivery of high quality development that will:

- Deliver successful places, based upon balancing the relationship between the environmental, social and economic characteristics of the area;
- Respond to the diverse needs and locational requirements of different economic sectors and employment opportunities;
- Demonstrate that there is good accessibility to a range of sustainable travel modes, based on links to the hierarchy of walking, cycling, public transport networks and ensuring integration with the design and layout of the development and the wider network;
- Facilitate the reuse of vacant and/or derelict land or previously used land;
- Protect and/or enhance the quality of the built and natural environment and be of a design that is appropriate to reflect the siting, density, character, landscape setting and identity of the surrounding area;
- Result in employment creation and bring economic benefit to the area, without causing significant environmental impacts, including an overall loss of amenity within the surrounding area and/or a significant adverse effect on neighbouring properties, in terms of use, scale, noise, disturbance and statutory air quality objectives;
- Make suitable provisions for landscaping, public realm, screening and servicing;
- Demonstrate climate change mitigation and adaptation in the design of new development, incorporating renewable or low carbon energy technology into the development;
- Demonstrate that development would not have a significant adverse impact on local infrastructure;
- Demonstrate that sufficient measures have been taken to minimise the traffic generated as a result of the development as well as the effect from additional traffic; and,
- Avoid causing unacceptable impacts on the natural environment, including the water environment.

DELIVERING THE SPATIAL STRATEGY - CENTRES



DELIVERING THE SPATIAL STRATEGY - CENTRES

Renfrewshire's Centres form an important part of the areas distinct character and identity, acting as hubs for communities. Centres offer a range of uses and activities and support new economic investment opportunities across Renfrewshire.

The Renfrewshire Local Development Plan recognises that Renfrewshire's Centres constantly evolve and their role and function change.

Encouraging a day and evening economy by creating vibrant and safe places is an important consideration for all new developments. Well designed quality spaces, public realm and sustainable access is key to improving the economic potential and environment of Renfrewshire's centres.

The Plan promotes the 'town centres first' approach and will support uses which contribute positively to the economic, social, environmental and cultural life of centres to assist with improving the quality of offer, create sustainable mixed communities and reduce the need to travel.

To support the delivery of the Renfrewshire Local Development Plan the Council prepares Town Centre Strategies and Action Plans which promote and identify new innovative ways to support and enhance Renfrewshire's Centres to ensure they continue to thrive and meet the needs of residents, businesses and visitors.

Local Development Plan Objectives - Centres

- **The regeneration and growth of Renfrewshire's Centres, in line with the Town Centre First approach, which offer a range and choice of uses, activities and functions.**
- **The protection and enhancement of the environment and built heritage of Renfrewshire's Centres delivering vibrant, well designed and accessible places.**
- **Regeneration and renewal of existing urban areas as energy efficient, healthy and safe places.**

Renfrewshire's Network of Centres

The Renfrewshire Local Development Plan identifies a Network of Centres which recognises the complementary role and function of each centre.

Additional information on the role and function of each Centre is set out in the New Development Supplementary Guidance.

The network comprises of: -

- **Strategic Centres**
- **Core Town Centres**
- **Local Service Centres**
- **Village Centres**
- **Local Commercial Centres**

DELIVERING THE SPATIAL STRATEGY - CENTRES

Strategic Centres

Strategic Centres sit at the top of the network and have a significant role that extends to the whole of Renfrewshire or beyond. These centres fulfil a strategic role as a retail and leisure location, civic or cultural centre. Paisley and Braehead are Renfrewshire's Strategic Centres.

Core Town Centres

Core Town Centres serve towns of significant size and provide services for the local population and neighbouring settlements. They provide a mix of retail, commercial, leisure, civic and community services which are important to Renfrewshire's places and the overall strength of the network.

Local Service Centres

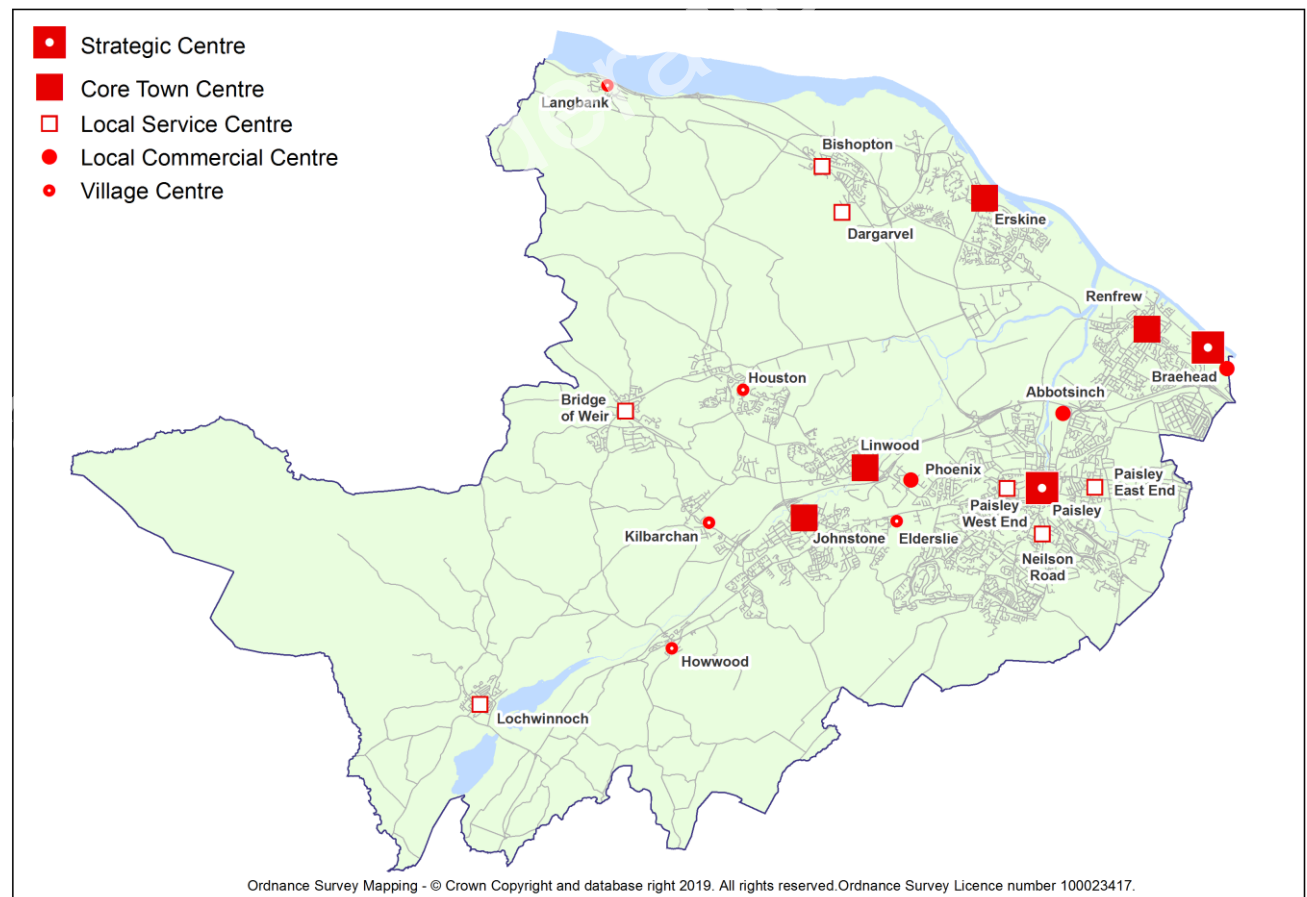
Local Service Centres perform a vital role in supporting many local communities within Renfrewshire. These centres have more localised catchment areas providing a range of local services.

Village Centres

Small local centres which perform a vital role in supporting local communities within Renfrewshire's villages.

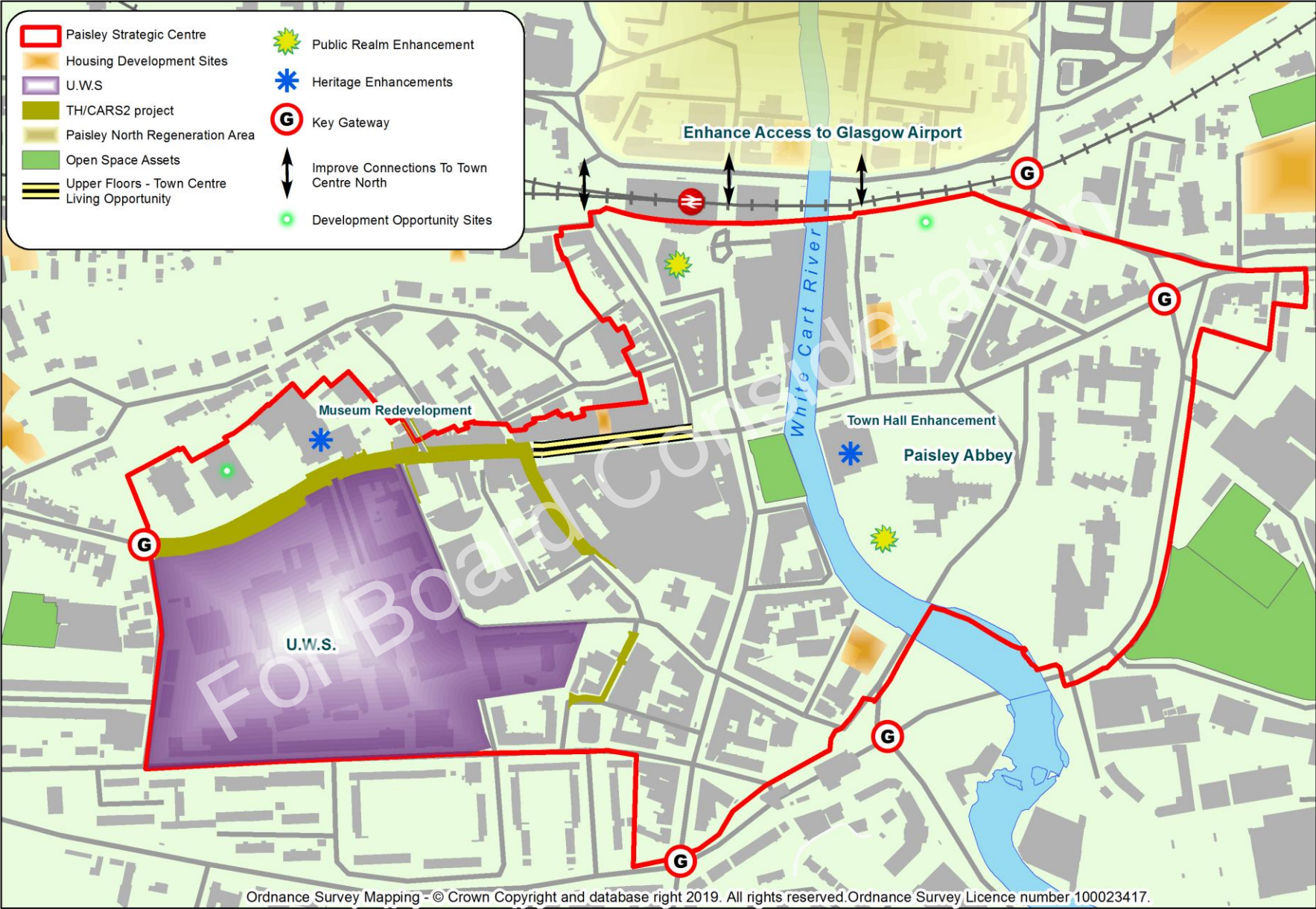
Local Commercial Centres

These centres provide for retail and associated commercial development that typically cannot be located within the other Centres with the network. They have a different and more specialised range of uses, physical structure, character and sense of place than the other network centres.



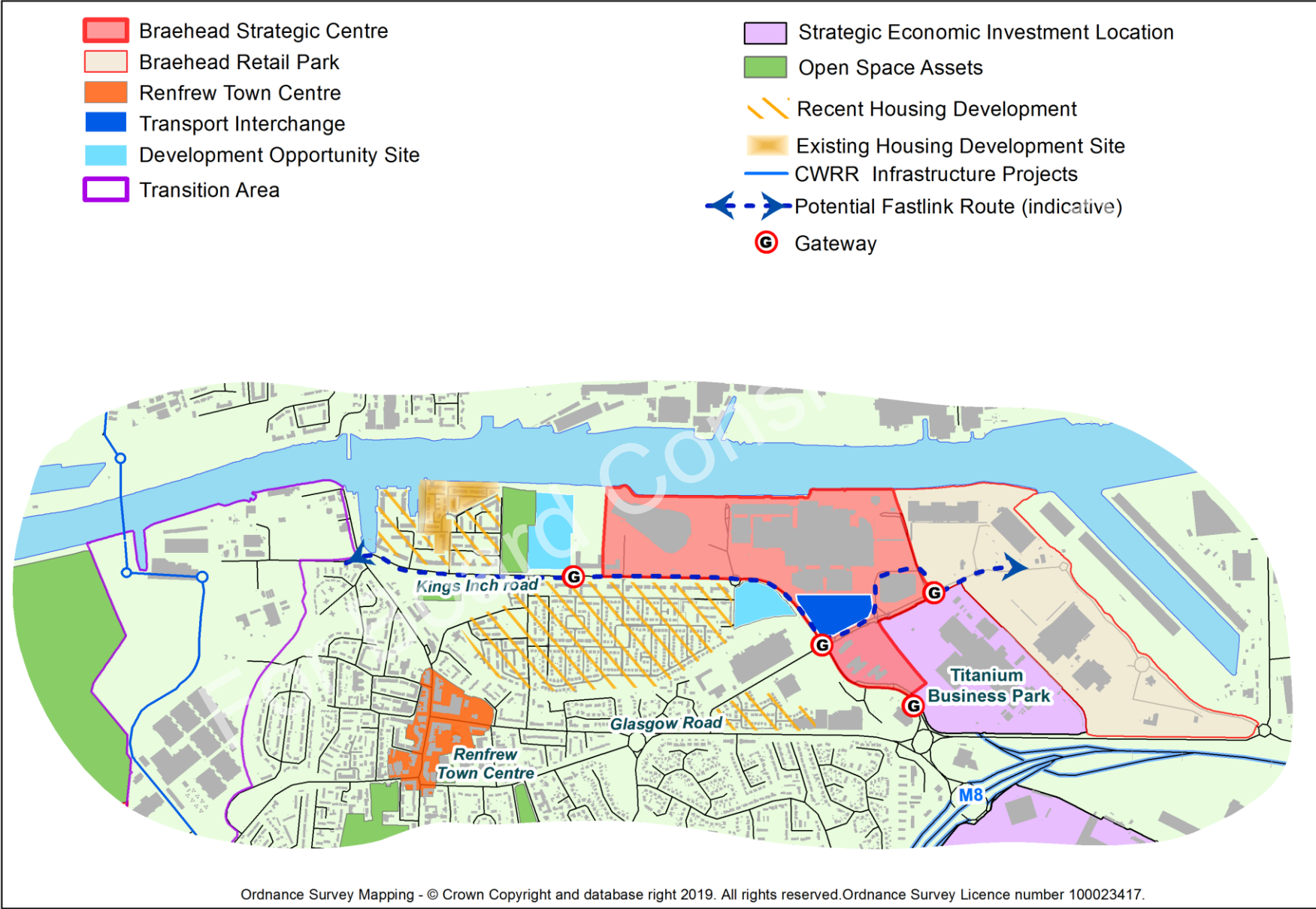
Illustrative Figure 7 – Renfrewshire's Network of Centres

DELIVERING THE SPATIAL STRATEGY - CENTRES



Illustrative Figure 8 – Paisley Town Centre Development Framework

DELIVERING THE SPATIAL STRATEGY - CENTRES



Illustrative Figure 9 – Braehead Development Framework

DELIVERING THE SPATIAL STRATEGY - CENTRES

POLICY C1 – Renfrewshire’s Network of Centres

Each of the centres in Renfrewshire form part of a diverse, interconnected network of places to live, shop, work, enjoy entertainment, leisure and cultural activities and gain access to sustainable transport and active travel connections. Development that will strengthen the network and enhance its centres, ensuring they are places which are vibrant, inclusive, accessible and complementary, as well as compatible with surrounding land uses will be welcomed.

All development proposals within the Network of Centres will be considered in line with the hierarchy and role and the function of centres as set out within the New Development Supplementary Guidance and the sequential approach set out in Scottish Planning Policy.

Policy C2 – Development Out with Renfrewshire’s Network of Centres

Proposals for new retail, leisure, visitor attractions and other major footfall generating developments appropriate to the network of centres should be located in accordance with the sequential approach set out in Scottish Planning Policy, subject to the availability of suitable opportunities.

Proposals out with the network of centres should:

- Provide clear justification as to why sites within the network of centres have been discounted, demonstrating a sequential approach has been undertaken to site selection;
- Demonstrate that the development will contribute to the area without significantly impacting on the vitality and viability, either individually or cumulatively, of the centres within the defined network;
- Demonstrate that proposals are of an appropriate scale and do not significantly impact upon the function, character and amenity of the surrounding area;
- Demonstrate that the development would tackle deficiencies in qualitative or quantitative terms that cannot be met in the network of centres; and,
- Demonstrate that the proposal is accessible by a choice of sustainable transport modes.

Note: New Development Supplementary Guidance

All Developments also require to be assessed in relation to the New Development Supplementary Guidance and the relevant Centre Strategy and Action Plan prepared for each Strategic Centre and Town Centre.

Supporting a Thriving Network of Centres

The Centres Section aims to support the delivery of high quality development that will:

- Enhance the economic, social, environmental, heritage and cultural life of the Network of Centres, for example through generating increased footfall and encouraging town centre living;
- Support the principle role and function of the centre in line with the hierarchy in the Renfrewshire Network of Centres and be complementary to existing uses and activities supporting increased footfall within the Centre;
- Contribute to the economic viability of the centre supporting a balanced provision to cater for varied needs during the day and evening through an appropriate mix of uses;
- Contribute towards the creation of distinctive, high quality places, protecting and enhancing the built, natural and cultural heritage of the Centre;
- Enhance Renfrewshire as a sustainable visitor destination encouraging access to and enjoyment of its cultural heritage assets;
- Enhance the quality of the built environment and reflect the character of the centre through good design, layout, siting and scale contributing towards the creation of successful places;
- Demonstrate that there is good accessibility to a range of sustainable travel modes, based on a hierarchy of walking, cycling, public transport and ensuring integration with the design and layout of the development and the wider network; and,
- Facilitate the reuse of vacant and/or derelict land and buildings.

DELIVERING THE SPATIAL STRATEGY - INFRASTRUCTURE



Renfrewshire is well connected with good access to air, rail, motorway and active travel networks which offer an excellent base for people to live and businesses to operate from.

Central to the implementation of the Spatial Strategy of the Renfrewshire Local Development Plan is ensuring that people and places are well connected and investment in infrastructure is made in the right place to enable and support development opportunities and investment.

The plan supports an integrated approach to the planning and development of the infrastructure required to facilitate development. This includes active travel and transport networks, water management infrastructure and sub-surface infrastructure providing digital connectivity, utility services, energy and opportunities for district heating.

The importance of City Deal investment to the future economic growth of Renfrewshire and Scotland is recognised. The plan provides a flexible and ambitious framework to maximise the potential economic and regenerative opportunities resulting from this investment.

Building on City Deal infrastructure investment, the consideration of a range of initiatives to assist with the funding of infrastructure development will continue.

Local Development Plan Objectives Infrastructure

- **Development locations supported by existing or planned physical infrastructure and services.**
- **Utilise City Deal infrastructure investment as a catalyst for regeneration and inclusive economic growth.**
- **A framework for local solutions to waste and energy needs and waste generation using renewable and low carbon technologies in support of the transition to a low carbon economy.**
- **Promote and support measures to reduce and mitigate the effects of climate change.**

Connecting Places

The Renfrewshire Local Development Plan promotes development opportunities which are located beside or close to existing active travel, public transport and road networks.

Connection to active travel and transport networks is a key enabler for creating sustainable communities, increasing access to employment, opening up new markets and for encouraging people to live, work and spend time in Renfrewshire.

The Plan will support development that delivers a modal shift to active travel and public transport. Ensuring safe connections to these networks is a key consideration for all development proposals following the 'Getting it Right for Every Child' approach.

Strategic transport networks such as Glasgow Airport, the trunk roads, motorway and rail networks are important in supporting connectivity and facilitating investment. The Plan will encourage a partnership approach to maximise the opportunities provided by the strategic transport network and to ensure that development proposals do not significantly impact on the efficient operation or safety of the network.

Sustainable and inclusive economic growth requires the efficient movement of freight which is of significant economic importance to Renfrewshire. The Plan will support proposals which safeguard and enhance existing and new freight transfer facilities to support increased movement of freight by rail and air to serve Renfrewshire's Economic Investment Locations.

Communication Networks

Access to digital communication networks is essential to the future economic growth and investment in Renfrewshire.

The Plan promotes the development of digital connections to attract people to live in Renfrewshire, facilitate mobile working and support businesses to flourish.

Enhanced digital networks aim to assist with retaining and attracting new businesses and employment opportunities reducing the need to travel and a reduction in emissions.

The Plan promotes partnership working with digital infrastructure providers to ensure Renfrewshire is well connected and to maximise the potential of digital communication networks.

Flooding and Drainage

In partnership with key agencies and other stakeholders, the Plan aims to manage flood risk and promote sustainable drainage in and around Renfrewshire.

The Plan promotes the management of drainage and flooding in a sustainable manner by encouraging the use of landscapes, green spaces and networks as mechanisms for control and storage of water. These mechanisms can also enable the creation of blue and green corridors, protecting as well as enhancing biodiversity and the natural environment.

A sustainable and proactive approach to flooding and drainage is set out in the Policy I4 and the associated New Development Supplementary Guidance. Avoidance is the first principle of Sustainable Flood Management. The Plan promotes sustainable flood management aiming to support the delivery of the actions identified in the Clyde and Loch Lomond Flood Risk Management Plan and Flood Risk Management Strategy, the Scotland and Clyde Area River Basin Management Plans as well as the Metropolitan Glasgow Strategic Drainage Plan.

In working in partnership to support the delivery of these plans the Renfrewshire Local Development Plan supports improvements to drainage infrastructure and catchment management and proposals to reduce flooding and flood risk in line with the Flood Risk Management (Scotland) Act 2009 whilst improving the condition of water bodies, improving habitats and enabling development.

DELIVERING THE SPATIAL STRATEGY - INFRASTRUCTURE

Renewable & Low Carbon Technologies

The Renfrewshire Local Development Plan promotes and supports development of renewable and low carbon energy generating technologies to help achieve the Scottish Government's renewable energy targets in relation to electricity and heat demand.

The Council are working with partners through the Renfrewshire Strategic Energy Group (RSEG) to promote, develop, and deliver energy strategies and sustainable energy efficient initiatives in Renfrewshire to help achieve national targets.

The Local Development Plan Action/Delivery Programme will align with and support the emerging energy strategies and initiatives of the RSEG.

The Plan will promote and support a range of renewable technologies in the right locations with the appropriate scale and design.

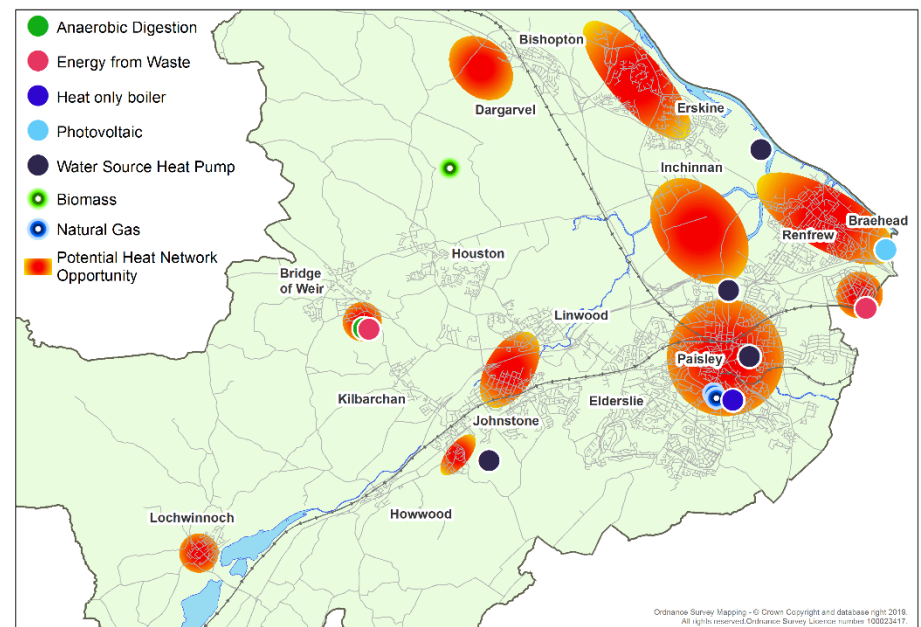
Clydeplan Strategic Development Plan (2017) includes a wind farm Spatial Framework which identifies small limited areas within Renfrewshire that may have potential for wind turbine development. However, at present there are significant limitations to the implementation of wind power renewable technologies in Renfrewshire due to Glasgow Airport radar restrictions. Therefore, alternative renewable and low carbon technologies will be promoted across Renfrewshire.

Opportunities to recover waste heat across Renfrewshire will be supported by the Local Development Plan. This could include Combined Heat and Power and District Heating Systems promoting

energy efficiency and carbon reduction and helping to address fuel poverty through potentially contributing to a reduction in fuel costs.

Figure 10 provides an initial indication of the areas across Renfrewshire with greatest potential for heat networks based on existing energy demand, proximity of energy resources and prevailing fuel sources. This position will be updated and reviewed as an action in the Renfrewshire Local Development Plan Action/Delivery Programme informed by future work of the RSEG.

The Council also aims to promote the use of low and zero-carbon generating technologies in new buildings to offset a proportion of predicted carbon dioxide emissions arising from the use of the buildings by at least 15% below 2007 building standards. This will continue to be addressed through the Building Warrant process.



Illustrative Figure 10 - Heat Network Potential Opportunity Areas Framework

Waste

The Council recognises the potential of waste management in contributing to the delivery of a green economy and sustainable economic growth within Renfrewshire.

Existing waste management infrastructure and facilities will be safeguarded where they support the delivery of the Zero Waste Plan and follow the waste hierarchy.

The Renfrewshire Local Development Plan provides a policy framework to support sustainable waste management and requires proposals for new waste management infrastructure and facilities to demonstrate how it conforms to, meets and delivers the objectives identified in the Scottish Government's Zero Waste Plan.

Developer Contributions

The Plan recognises the important role that new developments have in investing in Renfrewshire as well as the infrastructure that is required to support development and deliver good places.

Through this proactive approach developers require to address any infrastructure deficits to support new development. This includes infrastructure, facilities, services including education and health, traffic management measures, high quality placemaking measures including open space, active travel and green infrastructure provision and any future maintenance.

A proactive approach to infrastructure provision is adopted, investigating potential measures to facilitate development delivery

along with early discussions with stakeholders to consider the infrastructure requirements of new developments.

Development that is acceptable in terms of place making and can be delivered without significant increased burdens on infrastructure, services and facilities or whereby the developer can address any deficit will be supported.

Any developer contribution that is required to support a proposed development will be secured through the planning application process.

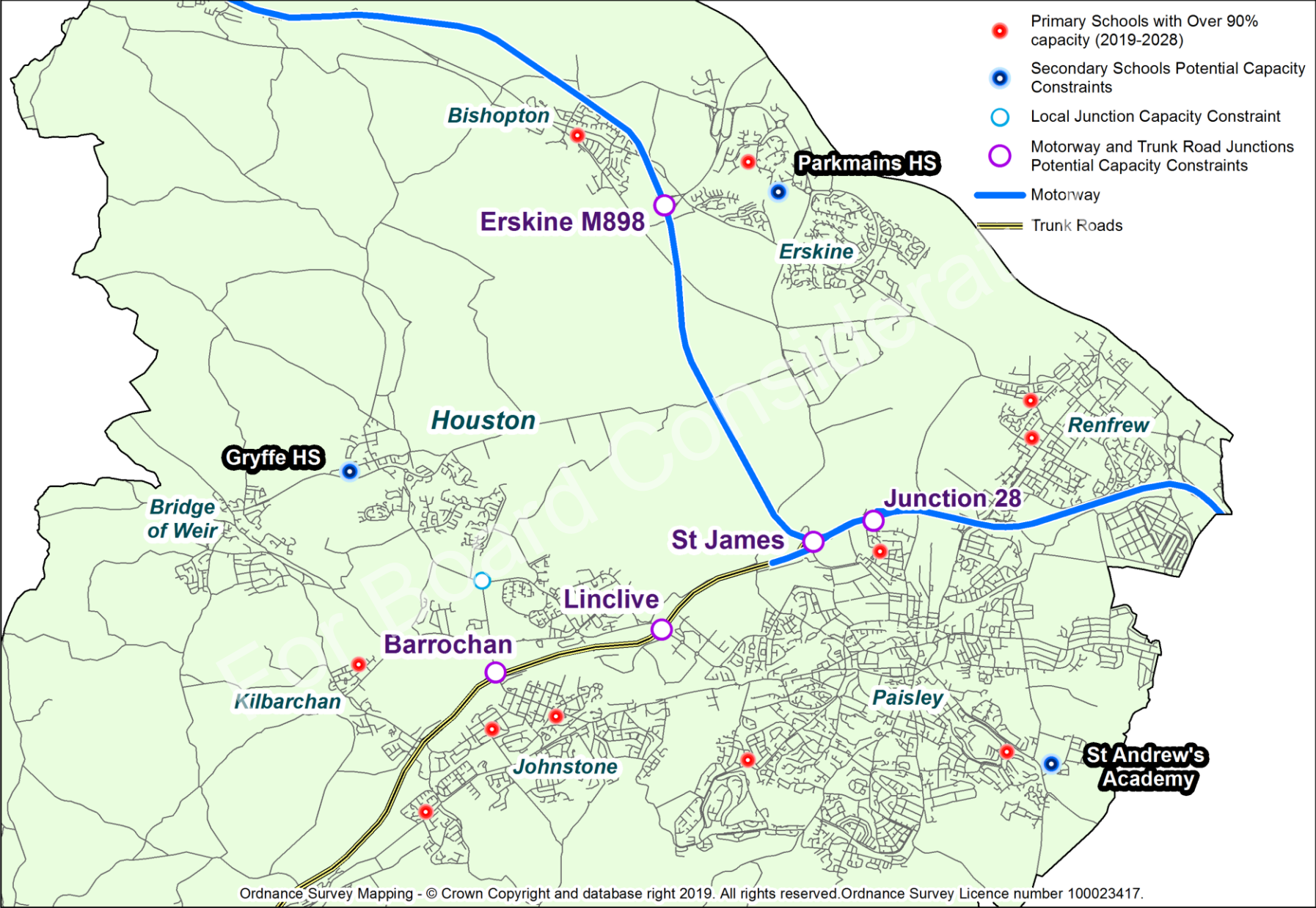
Figure 11 identifies parts of Renfrewshire's infrastructure which will require further consideration in preparing future development proposals, including road junctions and schools. Early discussions will be required to discuss detailed solutions prior to the submission of a planning application.

Figure 11 will be updated and reviewed as an action in the Renfrewshire Local Development Plan Action/Delivery Programme.

Transport Background Paper 7 published alongside the Local Development Plan considers the effects of development within the plan on the strategic and local road network. The Background Paper highlights capacity constraints within the road network that will require further detailed transport appraisal and potential interventions to support development.

Potential solutions to the existing transport network must be considered in the wider context and collaborative working with all relevant land use, planning and transport bodies will continue.

DELIVERING THE SPATIAL STRATEGY - INFRASTRUCTURE



Illustrative Figure 11 – Infrastructure Considerations

POLICY I1 – Connecting Places

Good accessibility and connectivity to walking, cycling and public transport to support modal shift is a key consideration for investing in Renfrewshire.

All development proposals require to ensure appropriate provision and accessibility including the ability to connect to active travel, public transport networks, hubs and interchanges and set out how this can be achieved. Development proposals which give priority to sustainable modes of travel and have no significant impact on the safe and efficient operation of the local or trunk road network will be supported.

Development proposals require to be designed to incorporate existing or future high speed digital network connections and other digital technologies.

POLICY I2 – Freight

Movement of freight by alternative means to the road network will be supported. The enhancement and development of sites with existing freight connections to the rail and air network along with proposals for any other additional sites that would take advantage of sustainable means of transportation will be welcomed.

The Council will safeguard and support Glasgow Airport, Linwood Burnbrae and Hillington Deanside Strategic Freight Transport Hubs in order to facilitate future investment in freight related activity and services at these locations.

DELIVERING THE SPATIAL STRATEGY - INFRASTRUCTURE

POLICY I3 –Flooding and Drainage

The delivery of the Clyde and Loch Lomond Flood Risk Management Plan, the Scotland and Clyde Area River Basin Management Plans and the Metropolitan Glasgow Strategic Drainage Plan will be supported in order to reduce flooding, flood risk and improve the condition of water bodies within Renfrewshire.

A precautionary approach will be adopted to the reduction of flood risk from all sources in line with the risk framework set out in Scottish Planning Policy. Avoidance is the first principle of Sustainable Flood risk Management. New development requires to avoid areas susceptible to flooding and developers will be required to demonstrate promotion of sustainable flood risk management measures by implementing suitable drainage infrastructure. Development must not have an adverse impact on existing drainage infrastructure, increase the risk of flooding or result in the loss of land that has the potential to contribute to the management of flood risk through natural flood management, green infrastructure or as part of a flood management scheme.

Development which involves land raising will be considered in relation to the risk framework set out in Scottish Planning Policy with effective compensation for any loss of local flood storage capacity secured on a like for like basis. New development will integrate surface water management into the design of green infrastructure based on naturalised Sustainable Urban Drainage Systems (SUDS).

Flooding and drainage measures require to have a positive effect on the water environment as well as the natural heritage interests of the site and land surrounding the site.

All development proposals require to be supported by an assessment of flood risk and drainage when deemed necessary by the Planning Authority.

POLICY I4 – Renewable and Low Carbon Energy Developments

Development proposals which deliver increased energy efficiency and the recovery of energy that would otherwise be lost will be supported. Renewable and low carbon energy developments, including the delivery of heat networks, will be considered in the relation to the scale of the contribution towards renewable energy generation targets and will be supported in principle where they are appropriate in terms of the location, siting and design having regard to any individual or cumulative significant effects on:

- Local environment, landscape character, built, natural or cultural heritage and water environment;
- Amenity of existing or allocated uses;
- Visual amenity, air quality, noise, glare and shadow flicker;
- Outdoor sport and recreation interest;
- Transport infrastructure, including road traffic and the safety of local and trunk roads and the railway network; and,
- The safe and efficient use of the Glasgow Airport, flight activity, navigation, flight paths and Ministry of Defence surveillance system.

Figure 10 identifies areas across Renfrewshire with potential for heat networks based on existing energy demand and proximity of existing energy resources.

All Major Development planning applications will require to consider the feasibility of meeting the development's heat demand through a district heating network or other low-carbon alternatives. New development located next to significant heat sources will be designed so that it can connect to an existing heat network or a wider planned network at a future date. Any land required to deliver the heat network will be protected and incorporated into the design and layout of the proposed development. Where a heat network is not viable, the use of micro-generation and other heat recovery technologies will be encouraged.

POLICY I5 – Waste Management

Existing waste management infrastructure and facilities will be safeguarded where they support the delivery of the Zero Waste Plan and follow the waste hierarchy. Incompatible uses in the vicinity of current sites will be resisted.

Development proposals for waste management infrastructure and facilities on new or existing sites will require to demonstrate how it conforms to, meets and delivers the objectives of the Zero Waste Plan. Development proposals will be supported where:

- The site has a good level of accessibility and the development does not have an adverse impact on the existing road network;
- The transportation of waste is kept to a minimum;
- It is able to co-exist with surrounding existing and allocated land use;
- The benefits of the proposal are demonstrated, taking into account the environmental, social and economic effects;
- It is located on or adjacent to land previously licensed for waste management processes without impact upon amenity or the operation of other uses or on land designated for Renfrewshire's Economic Investment Locations, subject to site specific considerations;
- The potential for the integration of waste and energy innovations is fully explored where it is demonstrated to be viable;
- It protects the built heritage and natural environment and demonstrates that it does not have an adverse effect on the integrity of any Natura 2000 sites; and
- Restoration and after-use proposals which are compatible with adjacent land uses and the local environment are set out prior to development.

All new developments must include and demonstrate suitable and well-designed provision for waste storage, recycling and collection.

Note: New Development Supplementary Guidance

All Developments also require to be assessed in relation to the New Development Supplementary Guidance.

Infrastructure Delivery – Supporting Sustainable and Connected Places

The infrastructure section aims to deliver high quality development that will:

- Demonstrate that development can be delivered without significant increased burdens on infrastructure, services and facilities or whereby the developer can address any deficit;
- Demonstrate that there is good accessibility to a range of sustainable travel modes, based on links to the hierarchy of walking, cycling, public transport network, ensuring integration with the design and layout of the development and with the wider network;
- Development should provide safe connections, including safe routes to school, following the 'Getting it Right for Every Child' approach;
- Provide electric vehicle charging stations as an integral part of any new development or redevelopment proposal;
- Provide access or be designed to incorporate future connections to high speed digital networks;
- Extend the electronic communications network with any new equipment designed and positioned sensitively;
- Consider connections to existing freight transfer facilities;
- New development should not impact on the functioning of freight facilities;
- Facilitate the reuse of vacant and/or derelict land or previously used land;
- Demonstrate the sustainable management of water providing suitable drainage infrastructure, including green infrastructure, and ensuring that there will be no unacceptable flood risk associated with the development;
- Incorporate climate change mitigation and adaptation in the design of new development, incorporating renewable or low carbon energy technology into the development;
- Follow the principles set out in the Zero Waste Plan.
- Provide connections to existing or be designed to incorporate connections to heat networks to recover waste heat;
- Make suitable provisions for servicing, landscaping and screening;
- Avoid causing unacceptable impacts on the environment and/or biodiversity or a loss of amenity within the surrounding area and/or a significant adverse effect on neighbouring properties, in terms of use, scale, noise, disturbance and statutory air quality objectives; and,
- Ensure that the infrastructure, connections and services required to support the development are in place including: footpath connections; provision for waste storage; recycling and collection; lighting; access to public transport; open space provision and access to local services and amenities.

DELIVERING THE SPATIAL STRATEGY - PLACES



Understanding the role of Renfrewshire's places, their strengths and opportunities for enhancement is central to the delivery of the Renfrewshire Local Development Plan Spatial Strategy which aims to enhance and grow Renfrewshire's communities in a sustainable manner.

The right type of housing requires to be delivered in the right locations, creating strong sustainable communities and attractive places to live.

Renfrewshire's Places Design Guidance supports the Local Development Plan to deliver sustainable place making and promotes high quality design in developments which support and enhance the character and amenity of places within Renfrewshire.

Sustainable Mixed Communities

The Renfrewshire Local Development Plan promotes the delivery of sustainable mixed communities with a focus on available brownfield land and previously used land to meet the majority of Renfrewshire's Housing Land Requirements.

In particular there is an emphasis on the continued delivery of Renfrewshire's Community Growth Areas at Dargavel Village, Bishopton and Johnstone South West.

Masterplans have been prepared for both Community Growth Areas, the principles of which are presented in Figures 12 and 13.

Local Development Plan Objectives - Places

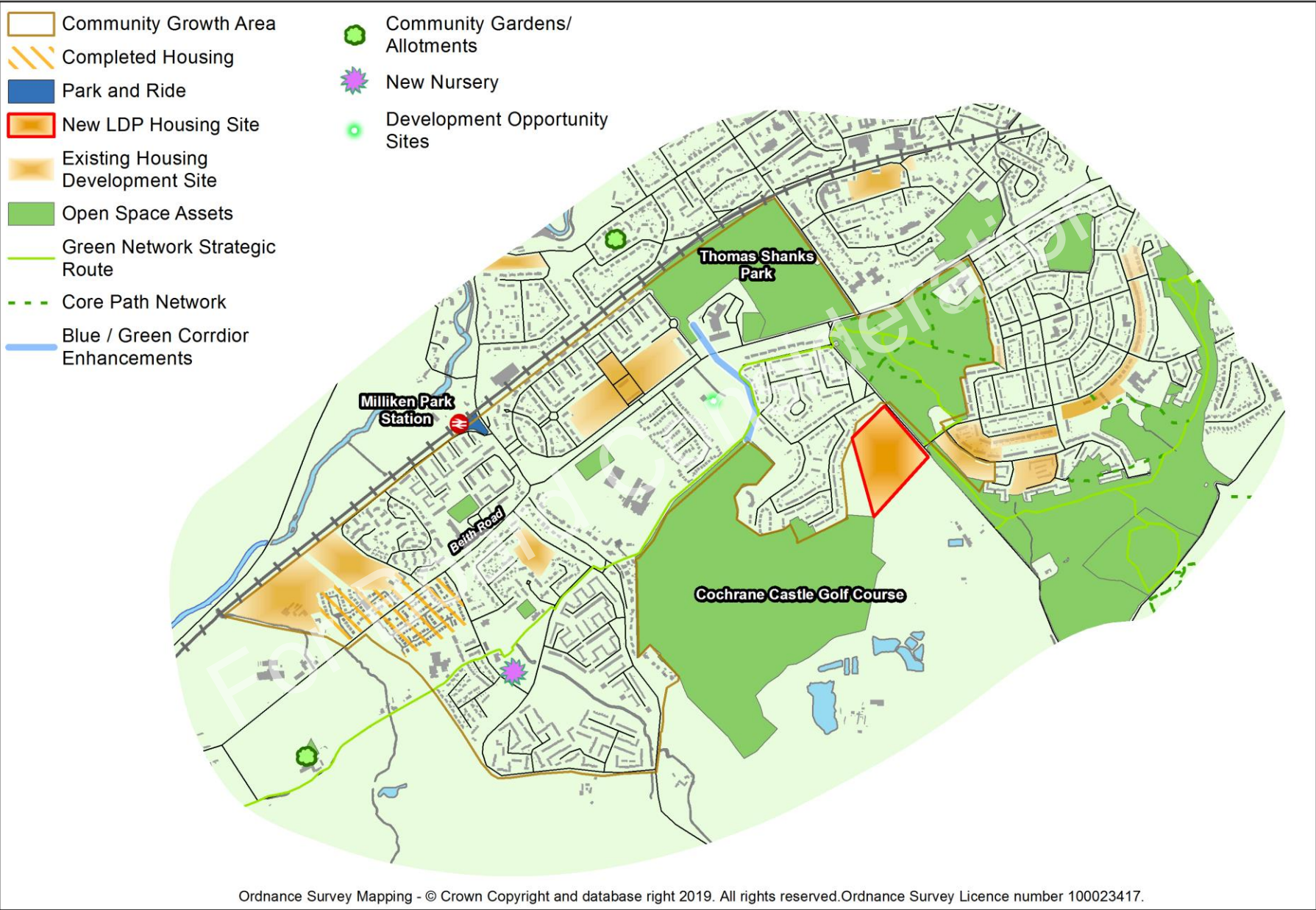
- **Development locations supported by existing or planned physical infrastructure and services.**
- **Creation of strong communities and attractive places focusing on the regeneration and renewal of existing urban areas supporting sustainable development and a low carbon economy.**

Creating strong communities and attractive places is key to proposals at Paisley West End, Ferguslie Park and Johnstone Castle. These projects will deliver new homes in existing settlements creating attractive places to live. Through the Renfrewshire Local Development Plan Action/Delivery Programme future regeneration projects will be identified.

Existing vacant and derelict sites across Renfrewshire provide further opportunities. Many of these sites are suitable for residential development and are sustainable, with good transport links and connections to existing services and facilities.

These sites will continue to be promoted with measures to facilitate the delivery of vacant and derelict sites across Renfrewshire identified in the Renfrewshire Vacant and Derelict Land Strategy and the Strategic Housing Investment Plan.

DELIVERING THE SPATIAL STRATEGY - PLACES

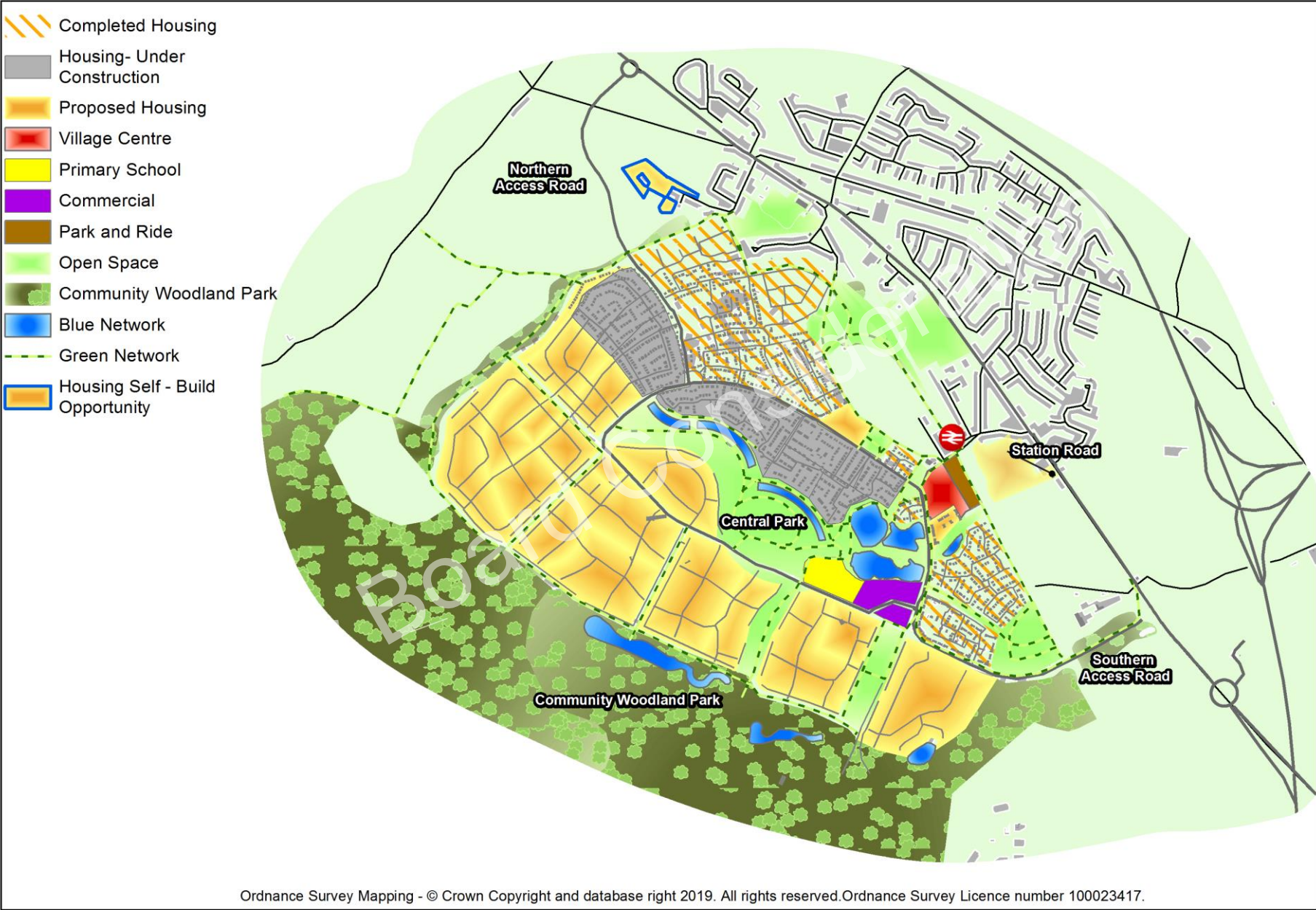


Illustrative Figure 12 – Johnstone South West Community Growth Area

DELIVERING THE SPATIAL STRATEGY - PLACES



Johnstone South West Community Growth Area



Illustrative Figure 13 – Bishopton Community Growth Area (Dargavel Village)

DELIVERING THE SPATIAL STRATEGY - PLACES



Dargavel Village Community Growth Area

DELIVERING THE SPATIAL STRATEGY - PLACES

Delivering New Affordable Homes

The Renfrewshire Local Development Plan aims to assist in creating a range and choice of housing to achieve sustainable communities throughout Renfrewshire with housing being delivered that is accessible to people on a range of incomes.

Over the last few years, the Council has been very successful working in partnership with Registered Social Landlord's through Renfrewshire's Strategic Housing Investment Plan to deliver a range of new affordable homes.

The Local Development Plan supports Renfrewshire's Local Housing Strategy and Strategic Housing Investment Plan to maximise the supply of affordable homes across Renfrewshire and will support development proposals that provide a mix of housing types and tenures to meet current and future housing needs.

The Plan promotes the delivery of self-build plots to help meet local housing needs and demand. Opportunities for new self-build plots in sustainable locations will be supported where they make a positive contribution to the existing place while increasing the supply of new homes across Renfrewshire.



Increasing the Supply of New Homes Across Renfrewshire

The Renfrewshire Local Development Plan identifies a generous supply of housing land in accordance with Scottish Planning Policy in line with the Housing Land Requirement to meet the Housing Supply Targets set in Clydeplan Strategic Development Plan (2017) over the next ten years.

Renfrewshire's Housing Land Supply is set out in the Housing Background Report 1 published alongside the Local Development Plan. This list includes sites currently identified in the agreed Renfrewshire Housing Land Audit 2018 and new sites allocated by this Plan. These sites are considered to support sustainable mixed communities and ensure the continued delivery of new housing across Renfrewshire.

Details of the Council's approach in meeting Renfrewshire's Housing Supply Targets is also contained within the Housing Background Report 1.

In line with the Renfrewshire Local Development Plan Spatial Strategy the Housing Land Supply focuses on the development of previously used sites, concentrating on existing built-up areas and key redevelopment sites, aiming to facilitate sustainable development.

The Renfrewshire Local Development Plan Action/Delivery Programme will continue to investigate new residential development opportunities.

Housing for Key Specific Groups

With regards to the housing needs of specific groups, including housing for older people and less able residents, the delivery of starter homes and smaller units, the Renfrewshire Local Housing Strategy sets out how Renfrewshire plans to meet these needs.

It is considered that the Renfrewshire Local Development Plan provides a suitable supply of land to meet these requirements.

When preparing new residential development proposals developers will require to demonstrate how they intend to meet local housing needs and demands through a mix of housing.

In relation to the needs of Gypsies/Travellers and Travelling Showpeople, the Renfrewshire Local Development Plan includes a policy which supports the identification of new privately-owned transit or permanent sites.

Renfrewshire Council will continue to monitor and work with neighbouring local authorities to review housing needs. Should future updates of the Renfrewshire Local Housing Strategy identify a need to allocate land to address the housing needs of key groups this will be addressed through the Renfrewshire Local Development Plan Action/Delivery Programme.

DELIVERING THE SPATIAL STRATEGY - PLACES

Green Network

The green network plays a significant role in the delivery of high quality places and has multiple roles which support water and flood management, biodiversity, active travel and health and well-being.

The attractiveness of places is strongly influenced by the ease with which people can access them and move around, as well as feeling safe as they do so. Development proposals will require to maintain and enhance the quality of access networks integrating active travel routes and linking them with community facilities, schools, work places and public transport hubs. They will also require to adopt the 'Getting it Right for Every Child' approach.

Increased connectivity within Renfrewshire as well as to networks out with the Council area supports the delivery of the Central Scotland Green Network, a national priority in the National Planning Framework. It also supports the expansion of the Glasgow and Clyde Valley Green Network, a strategic priority outlined in Clydeplan, with Johnstone/Black Cart Water Green Network identified as a spatial priority.

Figure 14 identifies key assets across Renfrewshire which strengthen and enhance current networks, with a focus on improving access to open space and connections between spaces and places.

A Green Network Strategy will be prepared as part of the Renfrewshire Local Development Plan Action/Delivery Programme to support the delivery of green network priorities at the settlement level, with opportunities for local delivery also anticipated to emerge from community led Local Place Plans.



New Green Network links, Dargavel Village Community Growth Area, Bishopton

DELIVERING THE SPATIAL STRATEGY - PLACES

Open Space

Open space makes an important contribution to Renfrewshire and contributes to the natural and built environment of places.

Development proposals will require to protect and where possible enhance open space, recreational areas and amenity space.

Renfrewshire's Places Design Guidance promotes the creation of a high-quality environment in new developments with good access to open space and the provision of green space which enhances the setting of the development.

The provision of new areas of open space should be designed to meet the recreational needs of people of different ages and physical abilities contributing to health and wellbeing across Renfrewshire.

The Renfrewshire Local Development Plan Proposals Maps identifies areas of formal and informal open space including recreational/sports provision, parks, allotments and amenity space which are protected as important spaces within and at the edge of existing settlements.

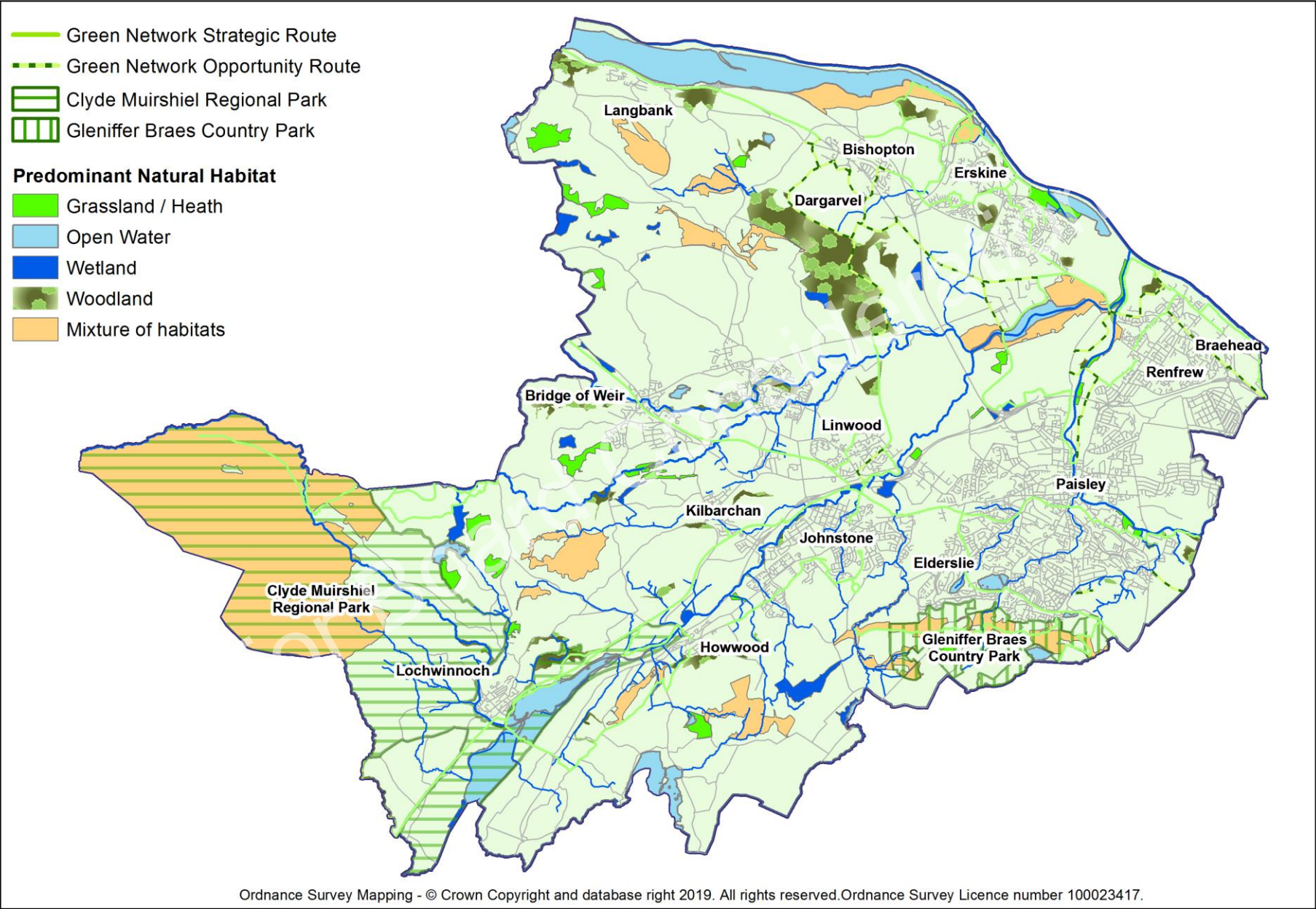
Areas of open space not identified on the Proposals Maps may also make an important contribution to local neighbourhoods and will be protected in line with Policy P6 unless it is demonstrated that its loss is acceptable, or it can be replaced with alternative provision which is of similar quality and quantity

Proposals for new allotments and growing grounds will be encouraged in areas of open space, Policy P1 and Transition Areas as shown on the Local Development Plan Proposals Maps.

The Green Network strategy which will be prepared as a key action in the Local Development Plan Action/Delivery Programme will identify potential opportunities for new allotments and community growing grounds to meet future demand.



Barshaw Park, Paisley



Illustrative Figure 14 – Green/Blue Network Plan

DELIVERING THE SPATIAL STRATEGY - PLACES

Settlement and Local Place Plans

Providing opportunities for local communities to become more involved in the planning, development and enhancement of their places is strongly supported within the Renfrewshire Local Development Plan.

Local Place Plans provide the opportunity for local communities to develop, shape and become actively involved in enhancing their places.

Building on the Our Renfrewshire Community Plan (2017 – 2027), the Local Development Plan identifies 7 Settlement Plans covering all of Renfrewshire which can be used by local communities to inform the preparation of Local Place Plans. The Settlement Plans are presented in Figures 16–22.

These plans show land use designations and potential opportunities for enhancing places in line with the Local Development Plan Spatial Strategy, providing a context which local communities can use as a base to prepare their own Local Place Plans and develop ideas and potential proposals for their area.

A community led Local Place Plan for Foxbar in Paisley has been prepared with the assistance of the Scottish Government 'Making Places' initiative as an initial pilot.

The outcomes and principles emerging from this process have informed the preparation of a 'How to Guide' and will be used as a template to support communities to deliver Local Place Plans across Renfrewshire.

Settlement Plan	Geography
Plan 1	Erskine, Bishopston, Langbank and Inchinnan
Plan 2	Renfrew, Braehead and Hillington Business Park
Plan 3	Paisley North, Gallowhill, Ferguslie, Paisley West and Central
Plan 4	Paisley East, Ralston, Hawkhead, Lochfield, Hunterhill and Charleston
Plan 5	Paisley Foxbar, Brediland and Glenburn
Plan 6	Johnstone, Linwood and Elderslie
Plan 7	West Renfrewshire Villages

Plan 1: Erskine, Bishopton, Langbank and Inchinnan

Plan 2: Renfrew, Braehead and Hillington Business Park

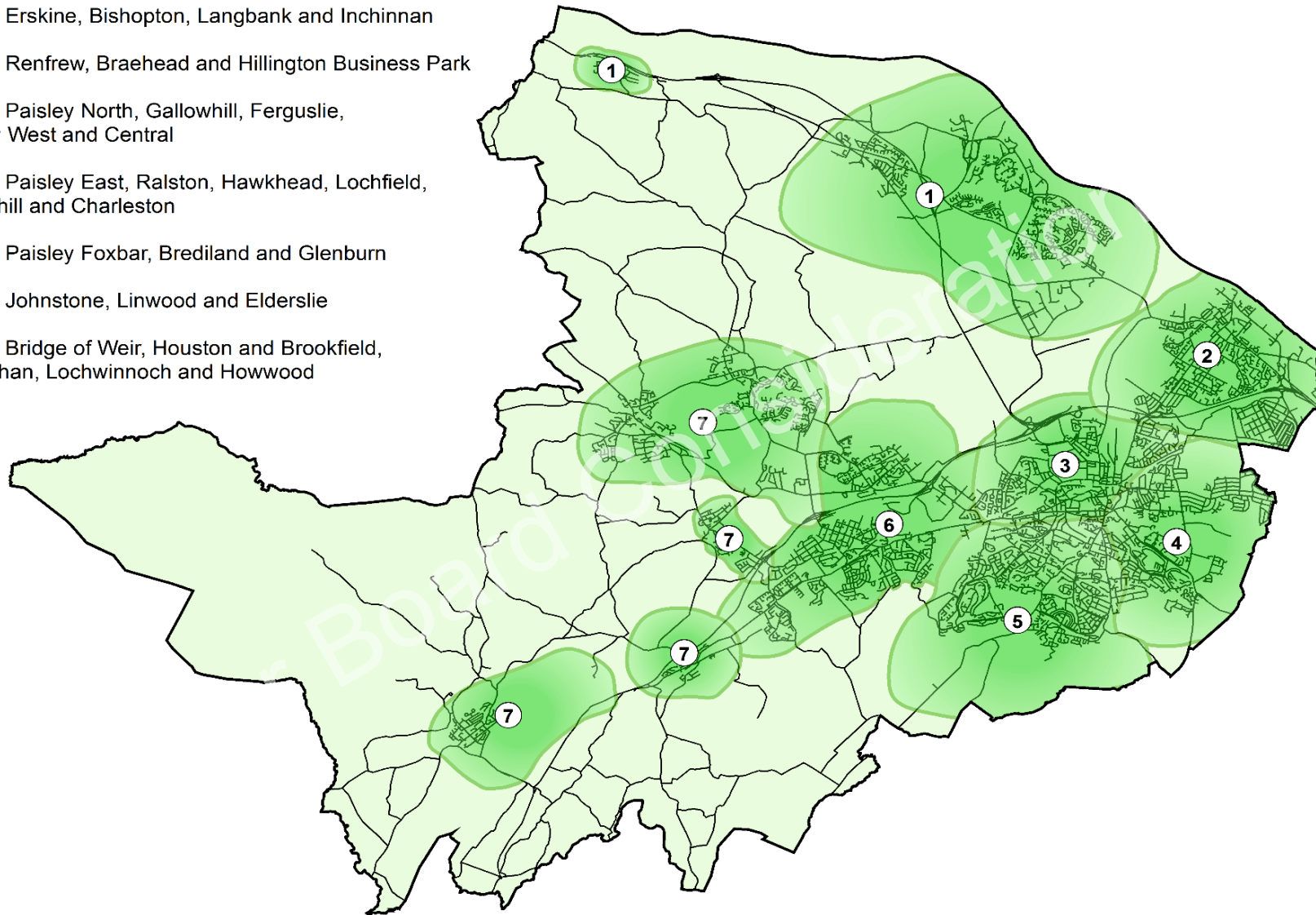
Plan 3: Paisley North, Gallowhill, Ferguslie,
Paisley West and Central

Plan 4: Paisley East, Ralston, Hawkhead, Lochfield,
Hunterhill and Charleston

Plan 5: Paisley Foxbar, Brediland and Glenburn

Plan 6: Johnstone, Linwood and Elderslie

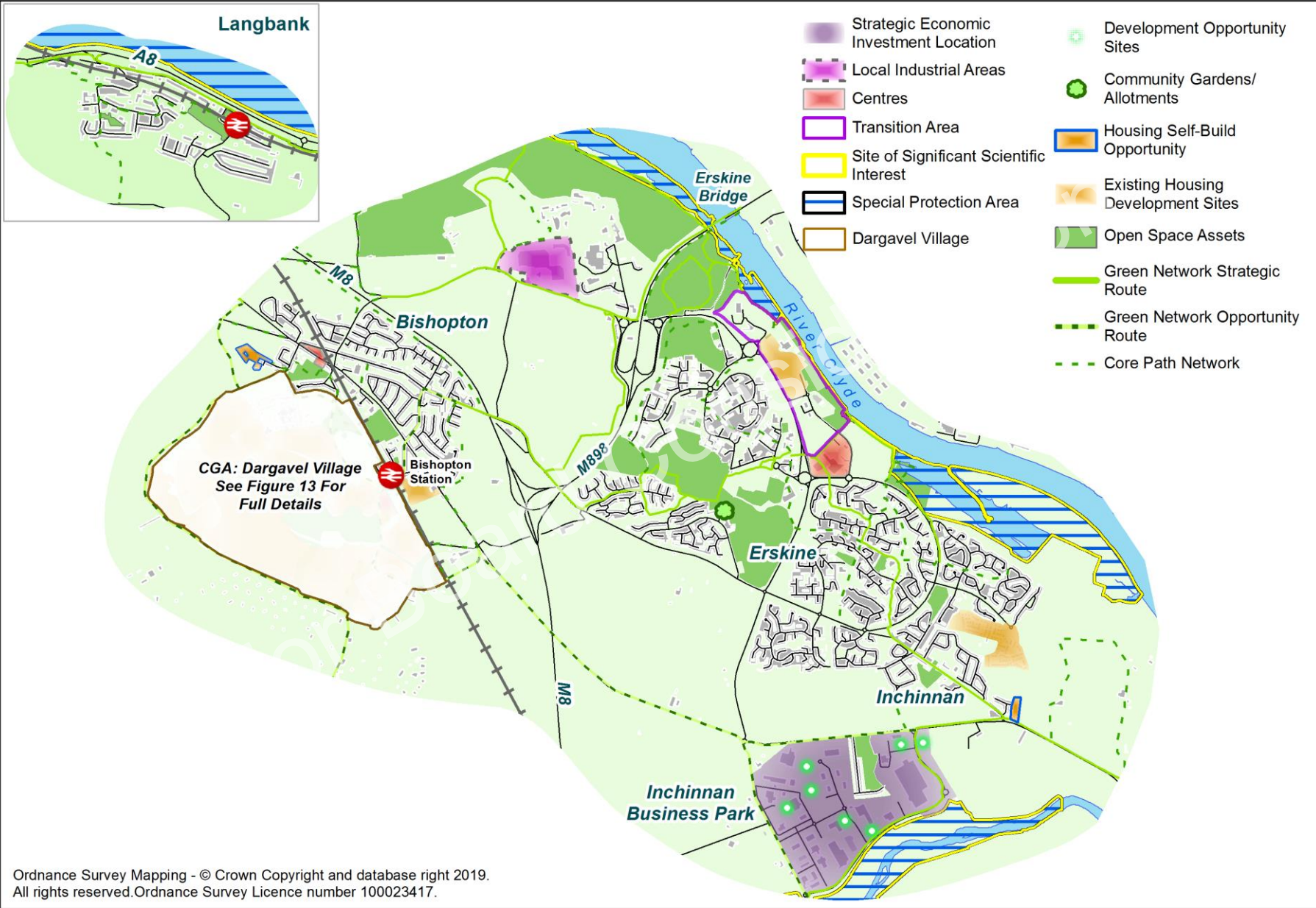
Plan 7: Bridge of Weir, Houston and Brookfield,
Kilbarchan, Lochwinnoch and Howwood



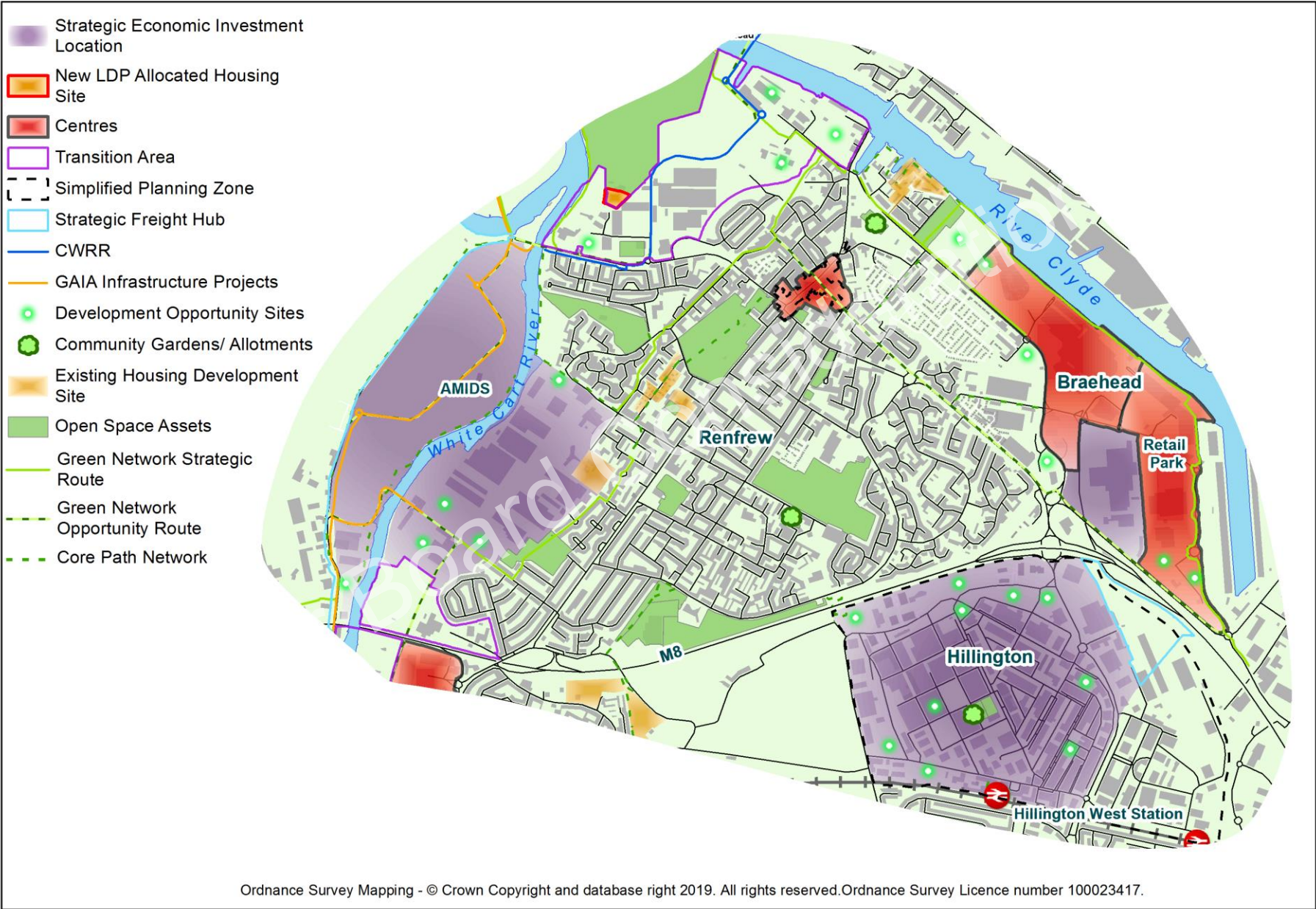
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Illustrative Figure 15 – Settlement Plan Areas – In line with Our Renfrewshire Community Plan

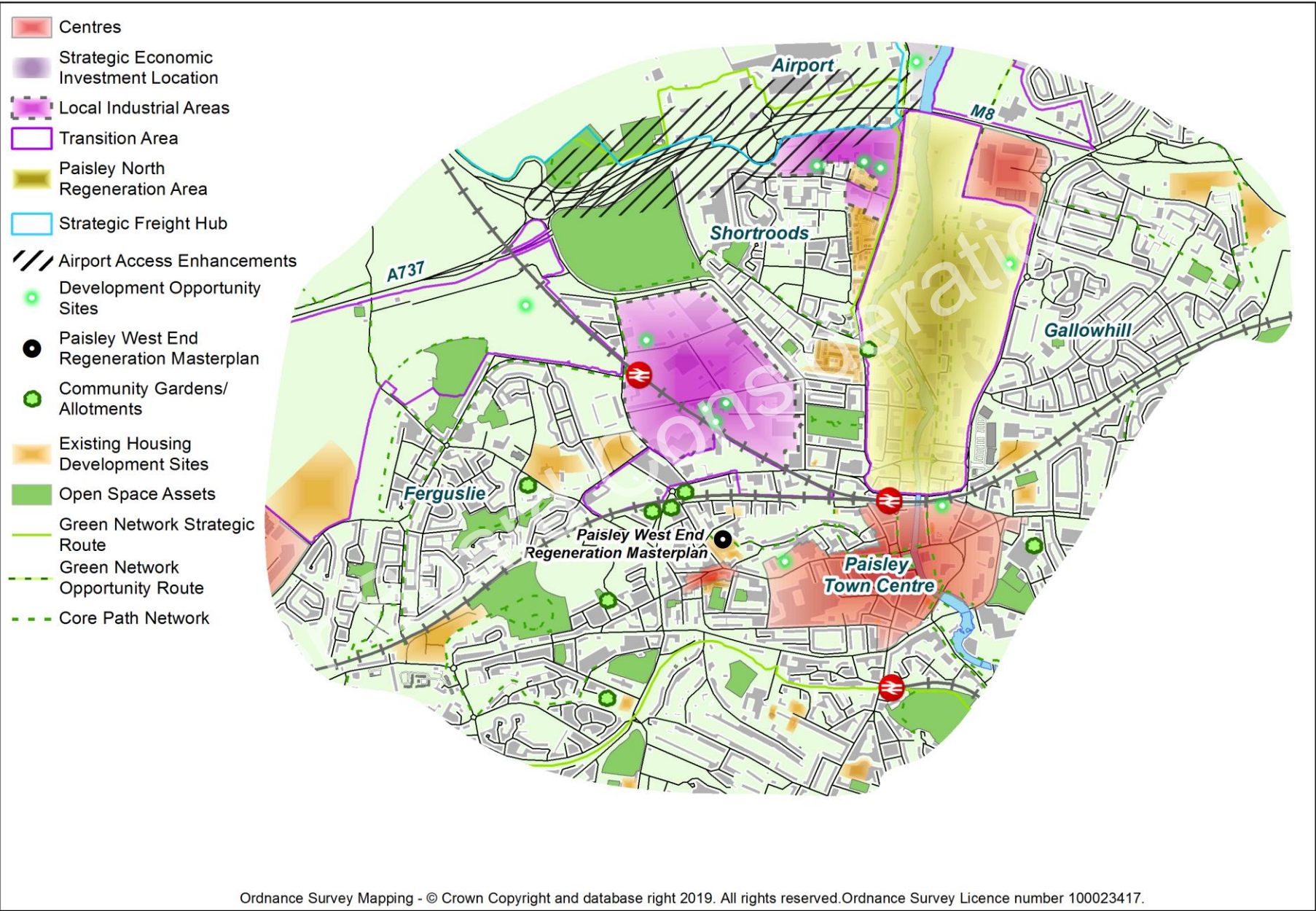
DELIVERING THE SPATIAL STRATEGY - PLACES



Illustrative Figure 16 – Erskine, Bishopton, Langbank and Inchinnan

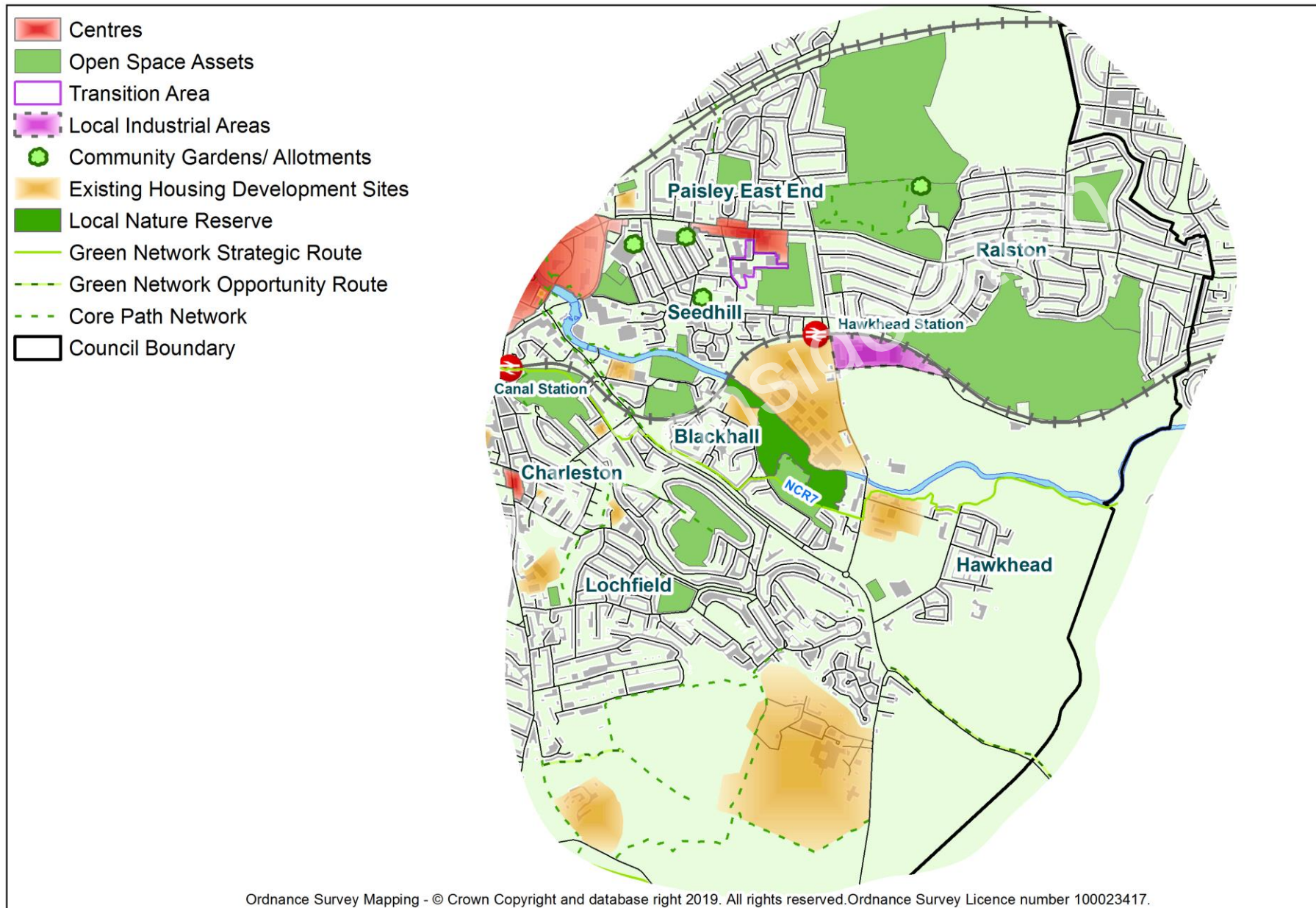


Illustrative Figure 17 – Renfrew, Braehead and Hillington Business Park

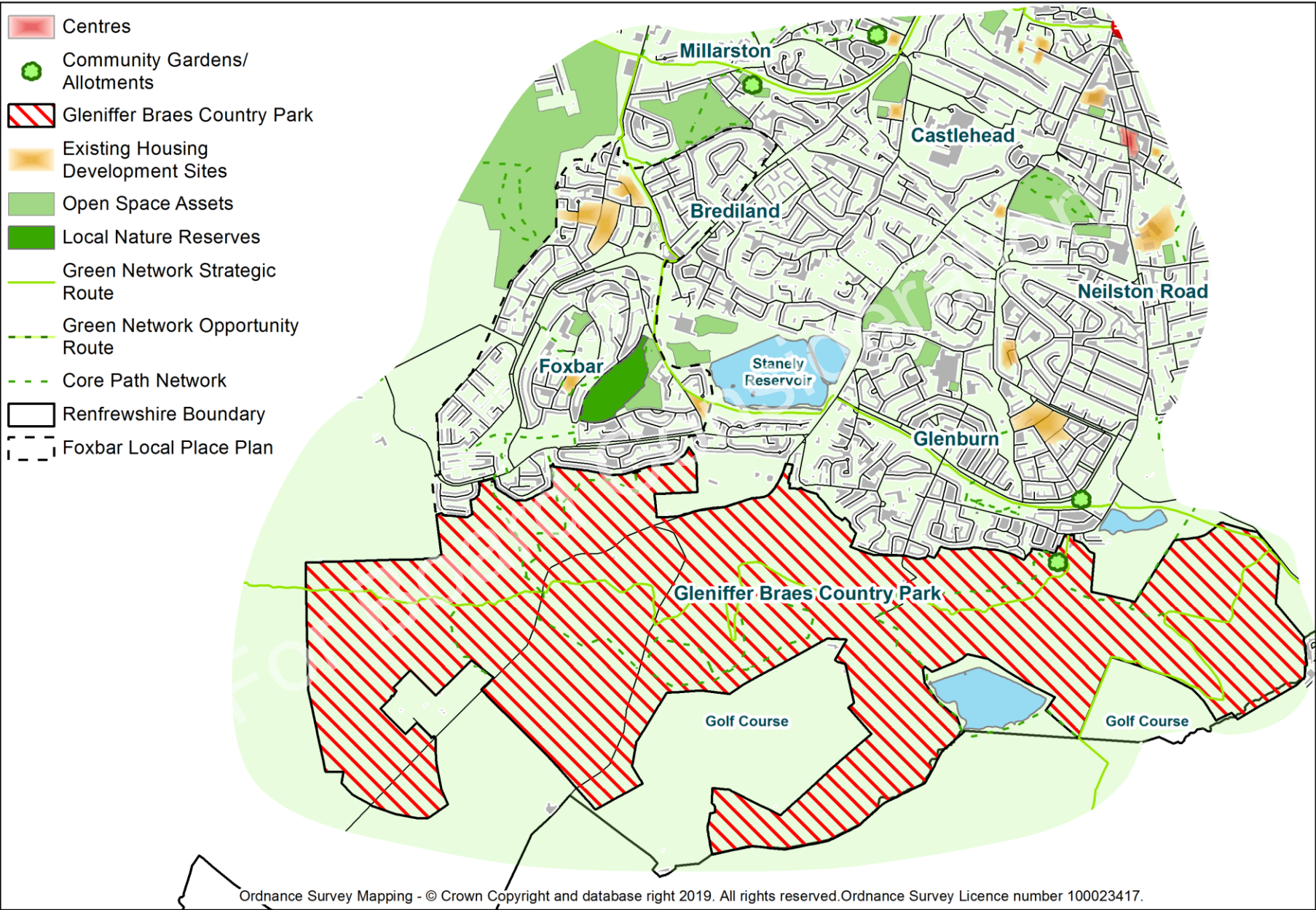


Illustrative Figure 18 – Paisley North, Gallowhill, Ferguslie, Paisley West and Central

DELIVERING THE SPATIAL STRATEGY - PLACES

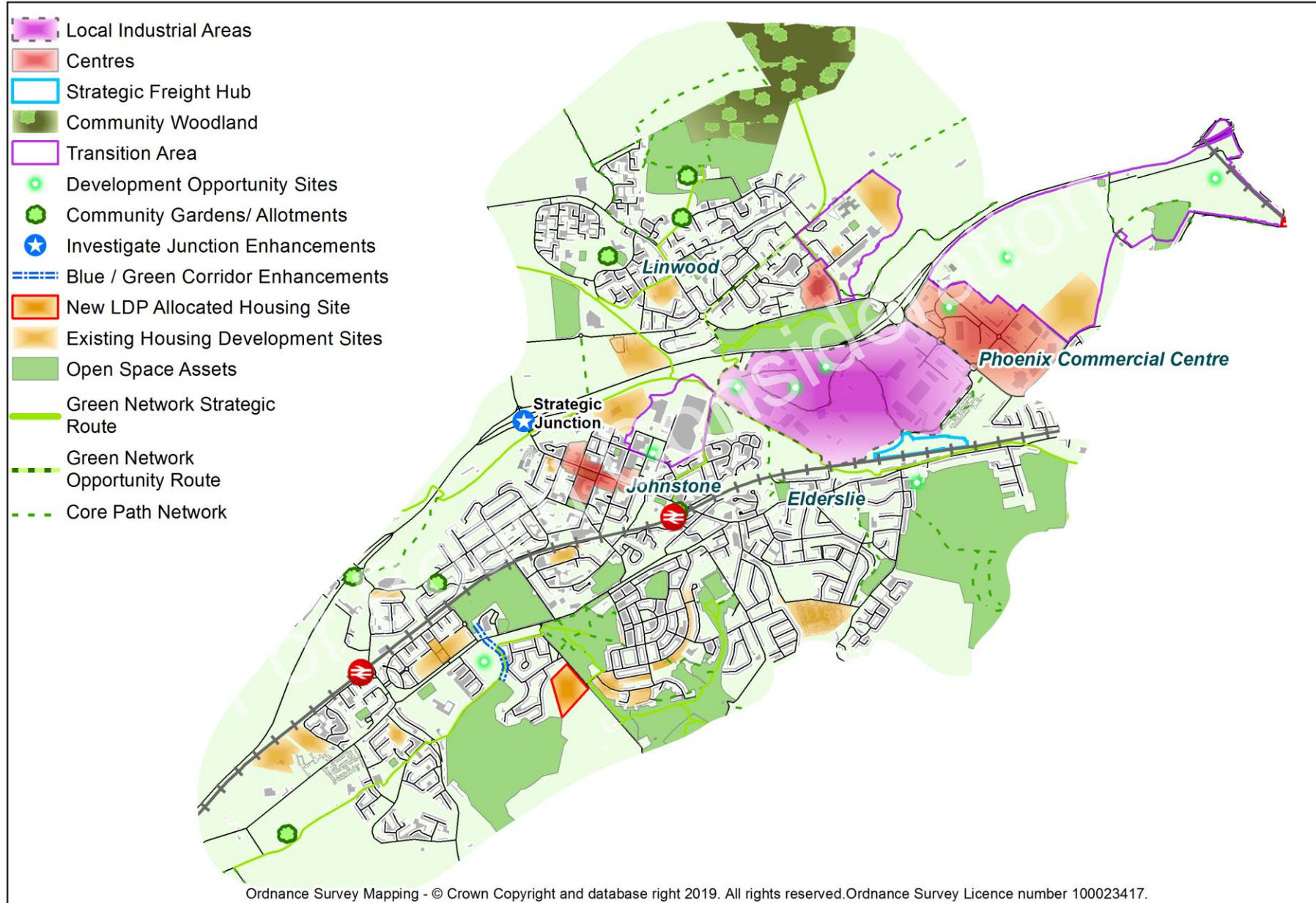


Illustrative Figure 19 – Paisley East, Ralston, Hawkhead, Lochfield, Hunterhill and Charleston



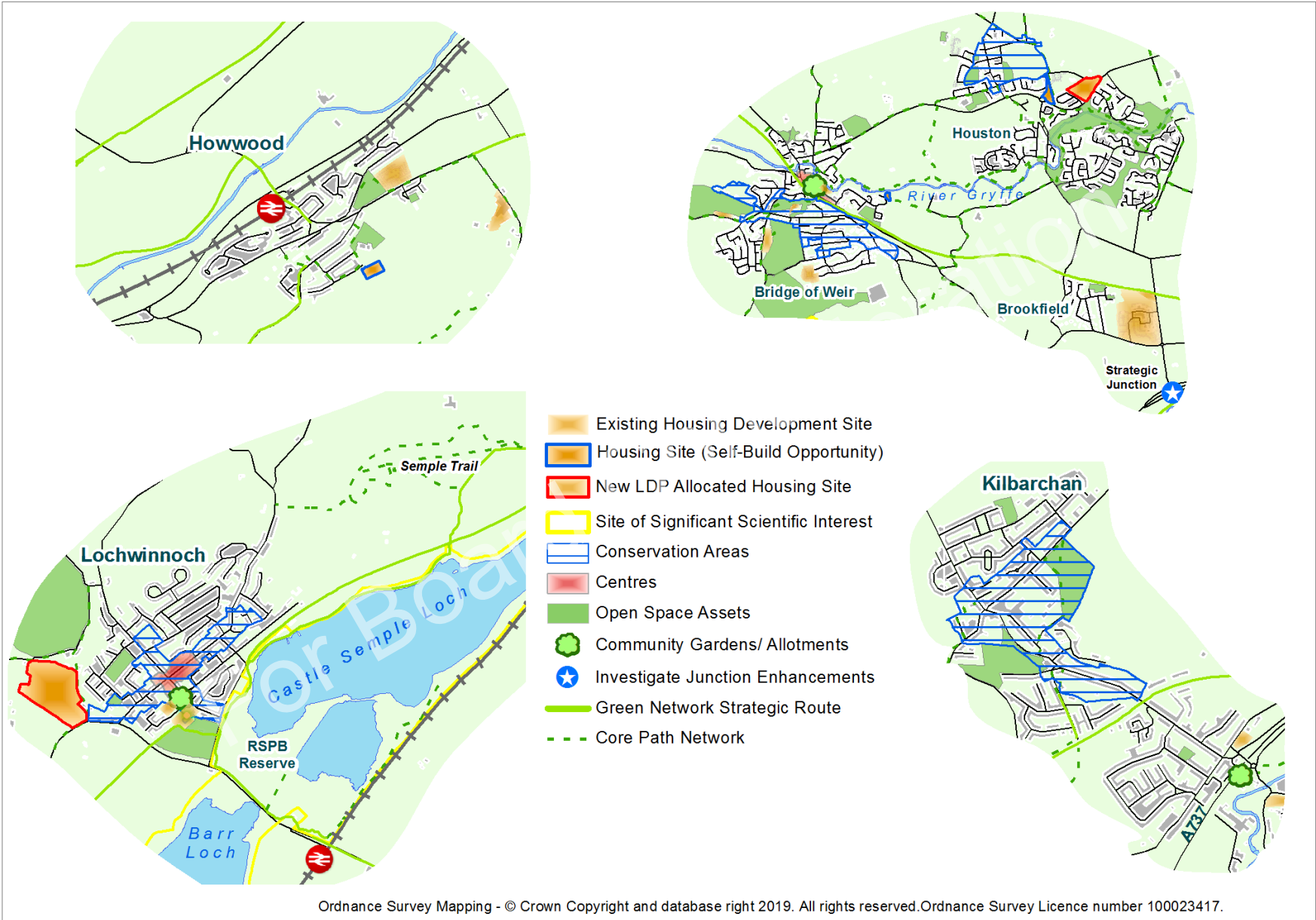
Illustrative Figure 20 - Paisley Foxbar, Brediland and Glenburn

DELIVERING THE SPATIAL STRATEGY - PLACES



Illustrative Figure 21 – Johnstone, Linwood and Elderslie Settlement Plan

DELIVERING THE SPATIAL STRATEGY - PLACES



Illustrative Figure 22 – Bridge of Weir, Houston, Brookfield, Kilbarchan, Lochwinnoch and Howwood

DELIVERING THE SPATIAL STRATEGY - PLACES

POLICY P1 – Renfrewshire’s Places

Within uncoloured areas on the proposals maps there will be a general presumption in favour of a continuance of the built form. New development proposals within these areas should make a positive contribution to the Place and be compatible and complementary to existing uses as set out by the New Development Supplementary Guidance and Renfrewshire’s Places Design Guidance.

POLICY P2 – Housing Land Supply

A 5-year supply of effective housing land will require to be maintained at all times which provides a range and choice of sites and supports the delivery of sustainable mixed communities throughout Renfrewshire. The housing sites listed in Appendix 1 will be reviewed annually through the Renfrewshire Housing Land Audit and are identified as housing sites to meet Renfrewshire’s Housing Supply Targets.

Should the Council identify a shortfall in the 5-year supply of effective housing land during the plan period, planning applications for new housing developments will be considered in relation to the criteria in Policy 8 of Clydeplan (2017), the framework set out in Appendix 1 and the New Development Supplementary Guidance.

Policy P3 – Housing Mix and Affordable Housing

Development proposals that provide a mix of housing types and tenures to meet current and future housing needs and support sustainable mixed communities will be supported.

Residential proposals will require to demonstrate how they meet local housing need and demand providing a mix of housing on all residential sites. A mix of housing to meet specific housing needs requires to be considered, including housing for older people and less able residents, along with the delivery of starter homes and smaller units.

Affordable housing requirements will require to be addressed in all residential developments where 50 or more dwellings are proposed providing up to 25% of the total site capacity in line with the New Development Supplementary Guidance. The appropriate housing mix for the locality and viability of the development will be key considerations in the delivery of new affordable housing.

Affordable housing provision can be across a range of tenures, including social housing for rent, mid-market rented accommodation, shared ownership housing, shared equity housing, housing sold at a discount (including plots for self-build), and low-cost housing without subsidy.

DELIVERING THE SPATIAL STRATEGY - PLACES

POLICY P4 – Sites for Gypsies/Travellers and Travelling Showpeople

Proposals for small privately-owned sites to accommodate Gypsies/Travellers and Travelling Show People, whether transit or permanent, will be supported where it can be demonstrated that:

- there is an identified locational need;
- the site can provide users with an acceptable level of residential amenity;
- access, parking, servicing and other on-site requirements (water supply, drainage/flood risk, electricity and waste collection) can be satisfactorily met;
- there will be no significant detrimental impact on the amenity of the surrounding area;
- the site is accessible to public transport, local schools and other local services and facilities; and,
- the site will complement and be compatible with the character and appearance of the surrounding area.

POLICY P5 – Green/Blue Network

Development which protects, maintains or enhances the quality and connectivity of green/blue networks as an integral functioning part of the place, including core paths, rights of access, open space and the water environment will generally be supported. Development proposals should contribute to and enhance the wider integrated green/blue network where there are opportunities for activity and access to open space as well as increasing accessibility to active travel routes in and around communities and places.

POLICY P6 – Open Space

Areas of open space, recreation provision and amenity space, as shown on the Local Development Plan Proposals Maps, will be protected from development. Any development proposals which would result in the loss of an area of open space not identified on the Proposals Maps will be assessed in relation to criteria set out in the New Development Supplementary Guidance.

New development must link to or incorporate accessible multifunctional open space, recreational facilities and amenity space of a quality and quantity, in the right location, to meet the needs arising from the development. Open space should be designed to meet the recreational needs of people of different ages and physical abilities contributing to health and wellbeing across Renfrewshire.

DELIVERING THE SPATIAL STRATEGY - PLACES

POLICY P7 – Dargavel Village

The Council will support and encourage development within Dargavel Village where it supports the principles set out in Figure 13 and in the approved masterplan for the site.

Note: New Development Supplementary Guidance

All Developments also require to be assessed in relation to the New Development Supplementary Guidance.



East of Fleming Road, Houston



Midton Road, Howwood

Enhancing and Creating Attractive Places

The Places Section aims to support the delivery of high quality development that will:

- Provide a mix of housing types and tenures to meet current and future housing need and support sustainable mixed communities;
- Follow the principles of the Renfrewshire Places Design Guide in terms of high quality design, layout, built form and materials;
- Reflect the density of the surrounding residential area;
- Contribute to the overall character of a place;
- Demonstrate that adequate provision has been made for all services including water, sewerage, power, communications, education, health and community facilities;
- Safeguard and enhance areas of public and private open space where they are of recreational or amenity value or provide new areas of open space to support the development;
- Protect and enhance existing landscape and ecological features where they make a positive contribution to the character of the area ensuring that they are integral to the design of the development, where possible integrating new landscaping and habitat features;
- Avoid significant adverse effects on the proposed development and/or the surrounding area with regards to visual amenity, noise, smell, traffic, hours of operation, vibration, dust, overlooking and meeting statutory air quality objectives;
- Create attractive and well-connected street networks which encourage active travel and provide integration with the wider active travel network;
- Assist in tackling climate change through reductions in carbon emissions;
- Safeguard, enhance and integrate green and blue infrastructure including green networks, open space and the water environment into the design and layout of the development and the wider green network; and,
- Development should provide safe connections following the 'Getting it Right for Every Child' approach.

DELIVERING THE SPATIAL STRATEGY - ENVIRONMENT



Renfrewshire benefits from a rich built heritage and a varied natural environment, these are key resources for places across Renfrewshire.

These assets can also assist in supporting sustainable and inclusive economic growth, improving health and well-being along with enhancing connectivity between people and places.

The Renfrewshire Local Development Plan continues to promote sustainable patterns of development that contribute towards minimising carbon and greenhouse gas emissions and facilitate adaptation to the likely effects of climate change.

By promoting good quality development in the right locations, the Renfrewshire Local Development Plan aims to assist with conserving and enhancing natural heritage, green spaces, landscape character, biodiversity, as well as recreational and access resources and active travel routes.

Green infrastructure is an integral part of place-making, both existing assets and new opportunities. The design and layout of new developments will require to consider the relationship with and how it can enhance the surrounding area, particularly in relation to the natural environment and biodiversity.

The Plan will also promote and support development or use of land that protects and enhances Renfrewshire's varied cultural and built heritage assets, including projects which will restore these assets and where a high quality public realm and place making will result.

Local Development Plan Objectives - Environment

- **An enhancement in the natural environment and built and cultural heritage of Renfrewshire in support of the health of its communities, attractiveness of its places and strength of its diverse economy,**
- **To promote and support measures to reduce and mitigate the effects of climate change.**
- **Development that neither individually nor cumulatively causes significant environmental impacts.**

Green belt

The majority of Renfrewshire is rural and therefore land designated as green belt covers an extensive area which can be used for a variety of uses and can integrate and align well with the objectives of the green network and connectivity to open spaces.

Renfrewshire's green belt will be protected from inappropriate development. The aim of the Renfrewshire Local Development Plan is not to restrict appropriate development or suitable uses in the green belt as set out in the New Development Supplementary Guidance which can support sustainable growth.

In preparing this Local Development Plan, a Green Belt Review has been undertaken. The findings of this review have informed the preparation of this plan and the identification of sites which could accommodate appropriate development. The findings of the green belt review are set out in Background Paper 3 Renfrewshire Green belt Review.

Natural Heritage and Biodiversity

The natural environment plays a vital role in the prosperity of Renfrewshire with green spaces attracting visitors to Renfrewshire as well as contributing to the health and wellbeing of existing residents.

High quality development that contributes positively to the local environment is welcomed. Protecting and enhancing the natural environment will play a key part in Renfrewshire's transition to a low carbon economy and adapting to climate change.

Green networks, wetlands and areas of open space that assist in maintaining biodiversity and provide for a range of other potential benefits including flood control, pollution control, recreation and the creation of integrated habitat networks are all of high importance.

The Renfrewshire Local Development Plan aims to assist in protecting and enhancing Renfrewshire's varied natural assets, including wildlife and their habitats, by focusing development in areas less likely to result in the loss of, or impact on, the natural environment.

The protection and enhancement of woodland and forestry is an important element of the Council's strategy to preserve and enhance Renfrewshire's natural environment.

The Renfrewshire Local Development Plan will seek to protect and enhance areas of woodland in line with the Scottish Government's Control of Woodland Removal Policy and Clydeplan's Forestry and Woodland Strategy.

A Green Network Strategy will be prepared as part of the Renfrewshire Local Development Plan Action/Delivery Programme to support Renfrewshire's Local Biodiversity Action Plan.

The Green Network Strategy will focus on the protection of existing natural assets and will identify local green network priorities and opportunities for green infrastructure delivery across Renfrewshire.

DELIVERING THE SPATIAL STRATEGY - ENVIRONMENT

Built Heritage

Renfrewshire has a diverse range of built and cultural heritage assets which are important to the identity of towns and villages. These assets require to be preserved and managed for the enjoyment of future generations.

Cultural and heritage assets also have an important role in the visitor economy and regeneration. These assets provide a range of social, cultural and economic benefits to communities across Renfrewshire.

The Renfrewshire Local Development Plan promotes a high-quality built environment with the built heritage sustainably managed, preserved and protected, whilst supporting and enabling appropriate development.

Historic buildings, Conservation Areas and other built heritage assets define the character and form a core component of the cultural infrastructure of Renfrewshire.

Historic buildings can also become vacant as the original use within these buildings has ceased or is no longer viable. Partnership working is required to try and secure appropriate uses for these buildings and the use of formal enforcement powers will be considered.

The use of enabling development will be considered where it is essential to the preservation of built heritage and where the benefits outweigh any conflict with other parts of the development plan.

The Environment Development Guidance in the New Development Supplementary Guidance sets out the criteria to be met by enabling development.

The continued focus within the Renfrewshire Local Development Plan on the redevelopment and regeneration of brownfield and previously used sites to regenerate and enhance existing places also provides opportunities to deliver benefits for the historic environment, and for the historic environment to contribute positively to the quality of placemaking.

There will be support for the temporary greening of unused or underused land, where appropriate in line with the Vacant and Derelict Land Strategy. The temporary enhancement of unused and underused sites can deliver a positive impact to the built and natural environment and overall amenity of the area.

The Renfrewshire Local Development Plan sets out a policy framework which reflects the importance of Renfrewshire's heritage and cultural assets. The Renfrewshire Local Development Plan Action/Delivery Programme outlines the Council's approach to facilitate the enhancement of these assets.



DELIVERING THE SPATIAL STRATEGY - ENVIRONMENT

Water Environment and Air Quality

The integration of land and water resources is an important consideration for the Renfrewshire Local Development Plan to ensure development protects and improves the water environment leading to better water quality and an enhancement of biodiversity.

Measures to protect and enhance the water environment will require to be integrated in new development proposals, assisting in creating natural habitats as an asset to sustainable places.

In line with the Clyde and Loch Lomond Flood Risk Management Plan and the Scotland and Clyde Area River Basin Management Plans the Renfrewshire Local Development Plan will support proposals which improve the overall water environment within and flowing out of Renfrewshire. There will also be support where proposals improve the control and management of water and the enhancement of biodiversity, flora and fauna surrounding the water bodies.

The Renfrewshire Local Development Plan also recognises the importance of good air quality as an important element of sustainable place making contributing positively to health and well-being. New development proposals require to demonstrate that they won't individually or cumulatively have a significant adverse effect on air quality, particularly when within or adjacent to Renfrewshire's Air Quality Management Areas as shown on the Proposals Maps.



White Cart water, Paisley

DELIVERING THE SPATIAL STRATEGY - ENVIRONMENT

Minerals

Mineral extraction is essential to sustainable economic growth, providing materials for construction, energy supply and supporting employment.

While coal resources amount to approximately 13.5% of the Renfrewshire Council area there is a low level of interest in developing new operations, due to sites either being exhausted or no longer economically viable. There are only two operational mineral workings within Renfrewshire, both of which are quarries working igneous rocks used for crushed rock aggregates.

The Council continues to work with neighbouring authorities to identify broad areas of search at a strategic level so that a 'local supply' can be ensured for a minimum of 10 years extraction in the Clydeplan area. These areas of search are based on locations where there are minerals of a sufficient quantity and quality to be economically worked. None of these search areas are currently within Renfrewshire.

Soils

Soil is a key part of the environment and soil degradation can have major implications for air and water quality as well as climate change, biodiversity along with the economy.

The management and protection of carbon-rich soils is a key element of Scotland's climate change mitigation strategy because of the potential of soil to store carbon and exchange greenhouse gases within the atmosphere. The Renfrewshire Local Development Plan will continue to promote the protection of soils across Renfrewshire with a presumption against development which would involve significant draining or disturbing of peatland or carbon-rich soils.

Scottish Natural Heritage publish Scotland's Carbon and Peatland Map. This map can be used as a guide to identify the distribution of nationally important soils including carbon rich soils, deep peat and priority peatland habitats across Scotland.



DELIVERING THE SPATIAL STRATEGY - ENVIRONMENT

POLICY ENV 1 – Green Belt

The green belt in Renfrewshire maintains the identity of settlements, protecting and enhancing the landscape setting of an area and protecting and promoting access opportunities to open space.

Development within the green belt will only be considered acceptable where it can be demonstrated that it is compatible with the provisions of the New Development Supplementary Guidance. Support will be given to developments that are able to demonstrate diversification within green belt and rural areas which promote new employment, tourism opportunities and / or community benefits.

POLICY ENV 2 – Natural Heritage

Development proposals will consider the potential impacts on natural heritage. Development proposals should protect and restore degraded habitats, enhance and promote access to Renfrewshire's natural environment and minimise any adverse impacts on habitats, species, network connectivity or landscape character. Developments must not have an adverse effect on the integrity of sites protected for their natural conservation interest or the wider biodiversity and geo-diversity of the area.

All proposals will be assessed in terms of the mitigation hierarchy of Avoid/Reduce/Compensate, the cumulative impact of development based on the precautionary principle and should protect, and where possible enhance:

- Natura 2000 and Ramsar Sites;
- Protected Species;
- SSSI's;
- Wild land;
- LNRs, SINC's and wildlife corridors;
- Biodiversity;
- Landscape character and setting;
- Clyde Muirshiel Regional Park;
- Trees - Ancient and semi- natural woodland in line with the Scottish Government's Control of Woodland Removal Policy and Clydeplan's Forestry and Woodland Strategy, significant trees including those covered by Tree Preservation Orders, hedgerows and trees within Conservation Areas

Developments and changes of use affecting those outlined above will be assessed against criteria set out in the New Development Supplementary Guidance.

DELIVERING THE SPATIAL STRATEGY - ENVIRONMENT

POLICY ENV 3 – Built and Cultural Heritage

Renfrewshire's built and cultural heritage which includes listed buildings, conservation areas, scheduled monuments, sites of known archaeological interest, unscheduled archaeological sites and the inventory of gardens and designed landscapes will be safeguarded, conserved and enhanced, where appropriate.

Development proposals, including enabling development, within or in the vicinity of built and cultural heritage assets will be required to demonstrate that there is no negative impact to their site or setting and is in accordance with the provisions set out in the New Development Supplementary Guidance.

There will be support for the retention and sympathetic restoration, appropriate maintenance and sensitive management of listed buildings to enable them to remain in active use.

The layout, design, materials, scale, siting and use of any development which will affect a listed building, or its setting should be sensitive to the buildings character, local landscape character, appearance and setting.

POLICY ENV 4 – The Water Environment

In line with the Clyde and Loch Lomond Flood Risk Management Plan and the Scotland and Clyde Area River Basin Management Plans, there will be support for proposals which encourage protection of the existing water environment, improvements to the control and management of water and the enhancement of biodiversity, flora and fauna surrounding blue corridors.

The Blue Network identified on Figure 14 will be protected and where necessary enhanced in order to facilitate improvements to the quality of water bodies and the water environment. The inclusion of green infrastructure which promotes the integration of blue and green networks in and around developments will be encouraged to ensure that the water environment is central to the fabric of places, contributes to sustainable flood management and does not have an adverse effect on the integrity of any Natura 2000 sites.

DELIVERING THE SPATIAL STRATEGY - ENVIRONMENT

POLICY ENV 5 – Air Quality

Development proposals individually or cumulatively should not have a significant adverse effect on air quality particularly within or adjacent to Renfrewshire's Air Quality Management Areas as shown on the Proposals Maps.

Where required, planning applications should be accompanied by an air quality assessment which demonstrates the likely impact on air quality and how such impacts will be mitigated, including measures that support active travel and public transport as an alternative to private vehicular traffic.

POLICY ENV 6 – Natural Resources (Minerals and Soil)

Minerals

Development proposals require to demonstrate that they will not result in the sterilisation or degradation of mineral deposits that have, or can be shown to have potential of being extracted economically.

Proposals for the winning and working of minerals will be permitted, where appropriate, when related to existing workings or in exceptional cases, where resources of a particular type or quality are unavailable from a suitable alternative source. Proposals will also be considered in relation to other relevant Development Plan Policies.

Development proposals in some parts of Renfrewshire may be at risk from unstable ground which is a legacy of previous mine workings. The Coal Authority publishes maps of such areas and development proposals in these locations will require to be accompanied by a Coal Report to help determine options for the future development of the site.

Soils

New development should avoid the unnecessary disturbance of areas of peatland or carbon-rich soils with a presumption against development which would involve significant draining or disturbance of peatland or carbon-rich soils. There will be support for peatland restoration, including rewetting where appropriate.

Where peat and other carbon rich soils may be affected by development, a survey and management plan will be required which identifies:

- means of minimising impact on carbon rich soils ensuring that the areas of deepest peat have been avoided and unnecessary disturbance, degradation or erosion of peat has been avoided;
- management measures relative to the carbon rich soil; and,
- suitable mitigation measures to minimise the potential effects on CO2 emissions.

DELIVERING THE SPATIAL STRATEGY - ENVIRONMENT

POLICY ENV 7 - Temporary Enhancement of Unused or Underused Land

Proposals for the temporary enhancement of unused or underused land that is awaiting development will be supported in line with the Renfrewshire Vacant and Derelict Land Strategy.

All proposals will require to demonstrate that the enhancement of a site will deliver a positive impact to the local environment and overall amenity of the area, without prejudicing the effectiveness and viability of the site, if it is identified for development in the future.

Note: New Development Supplementary Guidance

All Developments also require to be assessed in relation to the New Development Supplementary Guidance.



Preserving and enhancing Renfrewshire's Built and Natural Environment and Cultural Heritage Assets

The Environment Section aims to support the delivery of high quality development that will:

- Preserve the Green belt and avoid development that would significantly undermine its core role and function by individual and/or cumulative impacts;
- Ensure that it would not have an adverse effect on the integrity of any sites protected as a Natura 2000 site and have due regard to the importance of international, national and local designated sites;
- Protect and enhance the natural heritage including biodiversity, green networks, and landscape character and setting, ensuring integration with the development and the provision of connections to the wider green network;
- Demonstrate that air quality within the surrounding area would not be significantly affected by the proposal;
- Demonstrate that development will not result in sterilisation or degradation of mineral deposits;
- Protect and enhance the historic environment including listed buildings, conservation area sites, scheduled monuments, archaeological sites and Inventory Gardens and Designed Landscapes;
- Enhance the natural characteristics, historic value and setting of the site and surrounding area;
- Protect and enhance the water environment;
- Protect and enhance areas of woodland and forestry;
- Avoid the unnecessary disturbance of peat and carbon-rich soils; and,
- Prevent or avoid impacts on the natural environment, if this is not possible then measures should be made to minimise and reduce any unavoidable impacts including the consideration of compensation planting or habitat provision.

DELIVERY AND MONITORING

The Renfrewshire Local Development Plan sets out an ambitious Spatial Strategy that sets a framework for the protection and enhancement of Renfrewshire's diverse natural, built and cultural heritage assets, the delivery of new economic and infrastructure investment and guides the future use of land to create strong communities and attractive places across Renfrewshire.

The effectiveness of the Renfrewshire Local Development Plan will be dependent upon the successful implementation of its Spatial Strategy. The Renfrewshire Local Development Plan Action/Delivery Programme is central to this process clearly identifying priorities and what is required to deliver these priorities in partnership with key agencies, developers, local businesses and local communities across Renfrewshire. All of the actions in the Action/Delivery Programme are set within a timeframe facilitating the delivery, implementation and monitoring of the Local Development Plan.

This approach ensures that the Renfrewshire Local Development Plan is ambitious but realistic and deliverable. The Renfrewshire Local Development Plan Action/Delivery Programme is a 'live' document that will be reviewed regularly therefore if some of the plan fails to deliver in some areas or delivers at a slower pace, there will be opportunities to change the development approach. This regular review will also be a useful indicator for assessing whether the Renfrewshire Local Development Plan policies support the delivery of the Spatial Strategy.



APPENDIX 1

Housing Land Framework



APPENDIX 1 – HOUSING LAND FRAMEWORK

Framework for the identification of additional housing land

This framework will be used for the assessment of new residential development proposals should the Council identify a shortfall in the 5-year supply of effective housing land during the Local Development Plan period. Planning Applications for residential development will be assessed on their own merits and in relation to the considerations listed below.

Policy and Guidance Considerations	Other Considerations
<p>Scottish Planning Policy – Sustainability and Placemaking Policy</p> <p>Clydeplan Strategic Development Plan – Policy 1 – Placemaking; Spatial Development Strategy; Policy 8 – Housing Land Requirements; and, Diagram 10 – Assessment of Development Proposals</p> <p>Renfrewshire Local Development Plan – Spatial Strategy and Local Development Plan Policies</p> <p>Renfrewshire Local Development Plan New Development Supplementary Guidance</p> <p>Renfrewshire’s Places Residential Design Guidance</p> <p>Renfrewshire Green Network Strategy</p>	<ul style="list-style-type: none"> ➤ Development proposals will be considered in relation to the following new housing development hierarchy with preference given in the following order: brownfield and previously used sites; housing development pipeline sites (as set out in Background Paper 2), sustainable sites at the edge of settlements; and, all other sites. ➤ All development proposals must be supported by information to demonstrate the effectiveness of the site and the delivery of the development in the short term (within 5 years). Compliance with the Scottish Government Planning Advice Note 2/2010 or any new advice relating to the assessment of effectiveness requires to be demonstrated; ➤ Details of the phasing of the development shall be submitted with any planning application; ➤ Proposed housing sites must create or be contained within robust defensible boundaries and must not set a precedent for subsequent future expansion; ➤ Development proposals should be able to co-exist with existing surrounding uses, having no significant effect on the character and amenity of the surrounding area; ➤ It must be demonstrated that sufficient infrastructure is available or can be made available by the developer or another party to allow the development to be delivered within 5 years; ➤ Residential development proposals must not be dependent on the prior provision of infrastructure required by existing housing land allocations that do not have planning permission or are committed but have not started; ➤ Proposed housing developments on green belt land that was granted planning consent but has not been delivered will be retained as greenbelt land in the preparation of the next Renfrewshire Local Development Plan; ➤ This framework does not apply to applications for single or small groups of houses (5 or less); and, ➤ The use of processing agreements will be used to ensure the Council deal with planning applications expeditiously, to support the early delivery of housing sites.

APPENDIX 2 – SCHEDULE OF COUNCIL OWNED LAND

The following table outlines land in the ownership of the planning authority, as required by Section 15(3) of the Planning etc. (Scotland) Act 2006, which is affected by policies and proposals for development in the Renfrewshire Local Development Plan. All of the sites listed within the table below are indicated on Figure 23.

Site Reference	Description of Land Owned by the Planning Authority	Reference to policies, proposals or views contained in the Local Development Plan which relates to the occurrence of development of the land	Site size (All site sizes are approximate)
1	Meadowside Street, Renfrew	E3 – Transition Areas. This site is within the wider Meadowside Street/Blythswood Transition Area which could support a mix of uses.	2 ha
2	Netherton Farm, Renfrew	E1 Renfrewshire's Economic Investment Locations – Part of the wider Glasgow Airport Investment Area Strategic Economic Investment Location which is designated for industrial/business development.	52.52 ha
3	Brown Street/Albert Road, Renfrew	P1 – Renfrewshire's Places & P2 Housing Land Supply. Site being promoted for residential development	1.16 ha
4	Arkleston Road Paisley	P1 – Renfrewshire's Places & P2 Housing Land Supply. Site being promoted for residential development	2.91 ha
5	Arkleston Road, Paisley	P1 – Renfrewshire's Places & P2 Housing Land Supply. Site being promoted for residential development	2.59 ha
6	Renfrew Road, Paisley	E3 – Transition Areas. This site is within the wider Paisley Town Centre North Transition Area which could support a mix of uses.	0.47 ha
7	Seedhill Road, Paisley	P1 – Renfrewshire's Places & P2 Housing Land Supply. Site being promoted for residential development	1.20 ha
8	Cartha Crescent, Paisley	P1 – Renfrewshire's Places & P2 Housing Land Supply. Site being promoted for residential development	1.67 ha
9	St. Ninians Road/Crescent, Paisley	P1 – Renfrewshire's Places & P2 Housing Land Supply. Site being promoted for residential development	0,61 ha
10	Hurlet Road, Paisley	ENV 1 – Greenbelt.	1.72 ha
11	Bute Crescent/Iona Drive, Paisley	P1 – Renfrewshire's Places & P2 Housing Land Supply. Site being promoted for residential development	3.31 ha
12	Grampian Avenue/Lomond Crescent, Paisley	P1 – Renfrewshire's Places & P2 Housing Land Supply. Site being promoted for residential development	0.99 ha

APPENDIX 2 – SCHEDULE OF COUNCIL OWNED LAND

Site Reference	Description of Land Owned by the Planning Authority	Reference to policies, proposals or views contained in the Local Development Plan which relates to the occurrence of development of the land	Site size (All site sizes are approximate)
13	West Brae, Paisley West End, Paisley	P1 – Renfrewshire's Places & P2 Housing Land Supply. Site being promoted for residential development	0.9 ha
14	Ferguslie Park Avenue, Paisley	E3 – Transition Areas. This site is within the wider Candren Transition Area which could support a mix of uses.	2.21 ha
15	Blackstoun Road, Paisley	This site is covered by two policies, P6 - Open Space and E3 – Transition Areas. This site is within the wider Candren Transition Area which could support a mix of uses.	10.21 ha
16	Candren Road, Paisley	E3 – Transition Areas. This site is within the wider Candren Transition Area which could support a mix of uses.	15.86 ha
17	Crawford Drive (North), Paisley	P1 – Renfrewshire's Places. Future uses must be compatible with existing surrounding uses.	0.65 ha
18	Crawford Drive (South), Paisley	P1 – Renfrewshire's Places. Future uses must be compatible with existing surrounding uses.	0.89 ha
19	Land to south of Tannahill Terrace, Paisley	P1 – Renfrewshire's Places. Future uses must be compatible with existing surrounding uses.	2.74 ha
20	Bankfoot Road, Paisley	P1 – Renfrewshire's Places. Future uses must be compatible with existing surrounding uses.	1.3 ha
21	Belltrees Crescent (West), Paisley	P1 – Renfrewshire's Places. Future uses must be compatible with existing surrounding uses.	2.21 ha
22	Millarston Drive, Paisley	P1 – Renfrewshire's Places & P2 Housing Land Supply. Site being promoted for residential development	4.26 ha
23	Almond Crescent, Paisley	P1 – Renfrewshire's Places & P2 Housing Land Supply. Site being promoted for residential development	1.26 ha

APPENDIX 2 – SCHEDULE OF COUNCIL OWNED LAND

Site Reference	Description of Land Owned by the Planning Authority	Reference to policies, proposals or views contained in the Local Development Plan which relates to the occurrence of development of the land	Site size (All site sizes are approximate)
24	Dee Drive, Foxbar, Paisley	P1 – Renfrewshire's Places & P2 Housing Land Supply. Site being promoted for residential development	2.13 ha
25	Don Drive, Foxbar, Paisley	P1 – Renfrewshire's Places & P2 Housing Land Supply. Site being promoted for residential development	1.85 ha
26	Heriot Avenue, Paisley	P1 – Renfrewshire's Places & P2 Housing Land Supply. Site being promoted for residential development	0.56 ha
27	East Fulton Farm, Linwood	P1 – Renfrewshire's Places & P2 Housing Land Supply. Site being promoted for residential development	1,48 ha
28	Stirling Drive, Linwood	P1 – Renfrewshire's Places & P2 Housing Land Supply. Site being promoted for residential development	1.18 ha
29	North Road, Johnstone	P1 – Renfrewshire's Places & P2 Housing Land Supply. Site being promoted for residential development	1.28 ha
30	Craigview Avenue, Johnstone	P1 – Renfrewshire's Places & P2 Housing Land Supply. Site being promoted for residential development	3.44 ha
31	Auchengreoch Avenue, Johnstone	P1 – Renfrewshire's Places & P2 Housing Land Supply. Site being promoted for residential development	1.03 ha
32	Spateston Avenue, Johnstone	P1 – Renfrewshire's Places & P2 Housing Land Supply. Site being promoted for residential development	1.02 ha
33	Hillfoot Avenue, Howwood	P1 – Renfrewshire's Places & P2 Housing Land Supply. Site being promoted for residential development	0.52 ha
34	Ingilston Drive, Bishopton	P1 – Renfrewshire's Places & P2 Housing Land Supply. Site being promoted for residential development	1.64 ha
35	Rashielee, Erskine	E3 – Transition Areas. This site is within the wider Erskine Riverfront Transition Area which could support a mix of uses.	19.47 ha
36	Newshot Drive, Erskine	P1 – Renfrewshire's Places. Amenity Space. Future uses must be compatible with existing surrounding uses.	2.35 ha

APPENDIX 2 – SCHEDULE OF COUNCIL OWNED LAND

Site Reference	Description of Land Owned by the Planning Authority	Reference to policies, proposals or views contained in the Local Development Plan which relates to the occurrence of development of the land	Site size (All site sizes are approximate)
37	Beardmore Cottages, Inchinnan	P1 – Renfrewshire's Places & P2 Housing Land Supply. Site being promoted for residential development.	0.98 ha
38	Drums Avenue, Paisley	P1 – Renfrewshire's Places. Future uses must be compatible with existing surrounding uses.	1.63 ha
39	Abbotsinch Road/Arran Avenue, Paisley	E1 – Strategic Economic Investment Locations (SEILs). Site to support the delivery of infrastructure associated with the Glasgow Airport Investment Area City Deal Project. Land being purchased by the Council.	3.22 ha
40	South West of Inchinnan Swing Bridge, Renfrew	E1 – Strategic Economic Investment Locations (SEILs). Site to support the delivery of infrastructure associated with the Glasgow Airport Investment Area City Deal Project. Land being purchased by the Council.	0.18 ha
41	Greenock Road, Inchinnan	ENV 1 – Greenbelt. Site to support the delivery of infrastructure associated with the Glasgow Airport Investment Area City Deal Project. Land being purchased by the Council.	0.44 ha
42	Kilpatrick Drive, Erskine	ENV 1 – Greenbelt at the edge of Erskine Town Centre.	9.03 ha
43	West of A726, Erskine	P1 – Renfrewshire's Places. Future uses must be compatible with existing surrounding uses.	4.27 ha
44	Newton Terrace, Elderslie	P1 – Renfrewshire's Places. Future uses must be compatible with existing surrounding uses.	1.78 ha
45	Craigends, Erskine	P6 – Open Space. Area of amenity open space, not suitable for development.	43.87 ha
46	Land to North West of Erskine Town Centre, Erskine	C1 – Renfrewshire's Network of Centres. Development opportunity within Erskine Town Centre.	1.04 ha
47	Manse Crescent, Houston	P1 – Renfrewshire's Places & P2 Housing Land Supply. Site being promoted for residential development	1.41 ha
48	Land to South of Bridge of Weir Road, Houston	P1 – Renfrewshire's Places. This is an amenity site not suitable for development.	1.52 ha

APPENDIX 2 – SCHEDULE OF COUNCIL OWNED LAND

Site Reference	Description of Land Owned by the Planning Authority	Reference to policies, proposals or views contained in the Local Development Plan which relates to the occurrence of development of the land	Site size (All site sizes are approximate)
49	Floorsburn at Spateston Road, Johnstone	P1 – Renfrewshire's Places. Future uses must be compatible with existing surrounding uses.	3.42
50	Brediland Road, Linwood	P1 – Renfrewshire's Places. Future uses must be compatible with existing surrounding uses.	0.99
51	Stirling Drive, Linwood	P1 – Renfrewshire's Places and P6 – Open Space. Future uses must be compatible with existing surrounding uses.	4.42 ha
52	Lochhead Road/Church Street, Lochwinnoch	P1 – Renfrewshire's Places & P2 Housing Land Supply. Site being promoted for residential development	0.4 ha
53	Todholm Road, Paisley	P1 – Renfrewshire's Places. Future uses must be compatible with existing surrounding uses.	1.56 ha
54	Floors Street, Johnstone	P1 – Renfrewshire's Places. Future uses must be compatible with existing surrounding uses.	0.48 ha
55	Craigdonald Place, Johnstone	P1 – Renfrewshire's Places. Future uses must be compatible with existing surrounding uses.	0.31 ha
56	Mannering Road, Paisley	P1 – Renfrewshire's Places. Future uses must be compatible with existing surrounding uses.	1.8 ha

APPENDIX 2 – SCHEDULE OF COUNCIL OWNED LAND

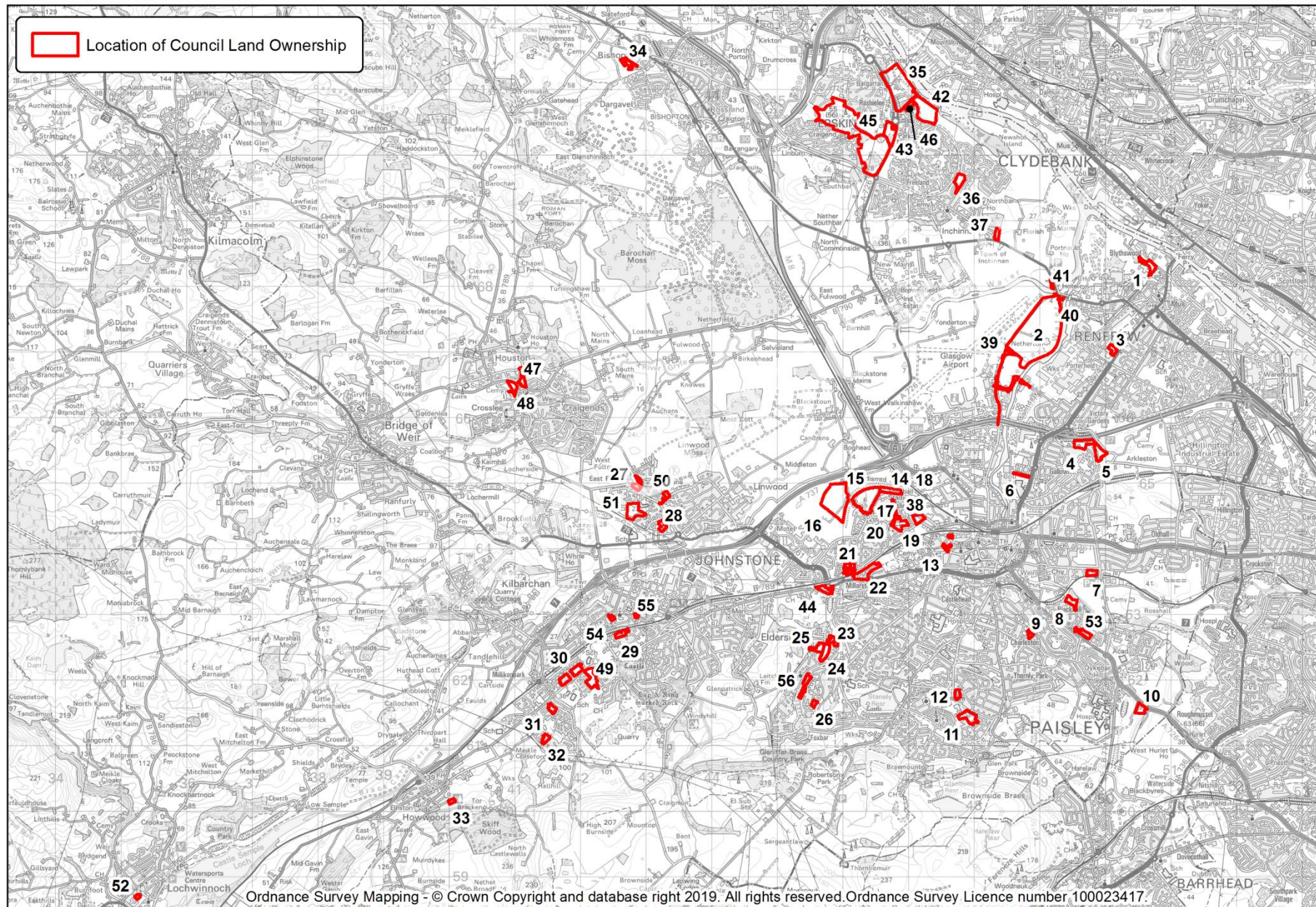


Figure 23 – Council Owned Land

GLOSSARY

<div>A</div> <div>Action Programme Part of the Local Development Plan. A delivery mechanism which identifies the timescale, roles, responsibilities and actions of those partners and stakeholders involved in implementing the Local Development Plan spatial strategy.</div> <div>Active Travel Travelling actively for everyday journeys such as to work, by walking, cycling, jogging etc; can also include walking/ cycling to public transport stops; a way of increasing physical activity and reducing car use.</div> <div>Accessibility Having access to goods, services, employment and other facilities.</div> <div>Affordable Housing Housing of a reasonable quality that is affordable to people on modest incomes. Affordable housing may be provided in the form of social rented accommodation, mid-market rented accommodation, shared ownership housing, shared equity housing, housing sold at a discount (including plots for self-build), and low cost housing without subsidy.</div> <div>Airport Operational Land The area around Glasgow Airport which</div>	<div>supports economic growth and the requirements of the airport including sustainable transport and travel.</div> <div>Ancient Woodland Woodland that has been in continuous existence since at least 1750 in Scotland.</div> <div>Appropriate Assessment An assessment required under the Conservation (Natural Habitats & c) Regulations 1994 (as amended), wherein the planning authority determine the likely impact of the plan and development proposals on the integrity of Natura 2000 sites (Special Protection Areas).</div> <tr> <td data-bbox="790 774 1426 845"> <div>B</div> </td><td data-bbox="1489 135 2136 1476"> <div>redundant or unused buildings.</div> <div>Built Heritage Built heritage is the physical evidence for human activity that connects people with place, linked with the associations we can see, feel and understand.</div> <tr> <td data-bbox="1489 406 2136 478"> <div>C</div> </td><td data-bbox="1489 478 2136 734"> <div>Climate Change A process of changes to weather patterns and temperatures largely caused by the emission of certain greenhouse gases from the earth, principally associated with the burning of fossil fuels.</div> </td></tr> <tr> <td data-bbox="790 845 1426 997"> <div>Biodiversity The range and extent of animal and plant species within an area.</div> </td><td data-bbox="1489 734 2136 1181"> <div>Clyde Area Management Plan The purpose of the Clyde Area Management Plan, which is led by the Scottish Environment Protection Agency, is to maintain and improve the quality of the rivers, lochs, estuaries, coastal waters and ground water in the area. 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GLOSSARY

<p>Clyde and Loch Lomond Local Plan District Flood Risk Management Strategy Sets out the short to long term ambition for flood risk management in the Loch Lomond Local Plan District. The Strategy identifies where the risk of flooding and benefits of investment are greatest</p>	<p>improve the infrastructure (e.g. roads, open space, waste-water treatment works) so that development can go ahead.</p>	<p>potential for housing development.</p>
<p>Connectivity Directness of links and connections in a transport network. As connectivity increases, travel distances decrease and route options increase, allowing more direct travel between destinations. Good connectivity provides easy access to key destinations for pedestrians.</p>	<p>District Heating The supply of heat to a number of buildings or homes from a central heat source through a network of pipes carrying hot water or steam.</p>	<p>F</p> <p>Flood Risk A measure of the likelihood of flooding occurring and the associated impacts on people, the economy and the environment.</p>
<p>Conservation Area Areas that are considered to have special architectural or historic interest requiring additional protection.</p>	<p>E</p> <p>Effective Housing Land Effective housing land supply is the part of the established housing land supply which is free or expected to be free of development constraints in the period under consideration and will therefore be available for the construction of housing.</p>	<p>G</p> <p>Green Belt An area defined in the development plan which can encircle settlements as well as act as buffers, green corridors or wedges. It can prevent the merging of settlements and provide clarity on where development will or will not take place.</p>
<p>Core Path Arising from the Land Reform (Scotland) Act 2003, local authorities have a statutory requirement to produce a Core Path Plan. A mixture of existing and new paths which link together to form an overall path network which caters for all types of user.</p>	<p>Environmental Report A document required under the Environmental Assessment (Scotland) Act 2005 which describes and evaluates the likely significant environmental impact on implementing a plan or programme.</p>	<p>Green Infrastructure Is a network of multi-functional green space, both new and existing, both rural and urban, which supports the natural and ecological processes and is integral to the health and quality of life of sustainable communities. Can include natural and semi-natural habitats, green corridors; amenity grasslands, parks and gardens, outdoor sports facilities, playing fields and play areas, cemeteries, allotments and accessible countryside.</p>
<p>D</p> <p>Developer Contribution Payments made or work in kind, to help</p>	<p>Established Housing Land Supply The total housing land supply including both unconstrained and constrained sites. This will include the effective housing land supply, plus the remaining capacity for sites under construction, sites with planning consent, sites in adopted local development plans and where appropriate other buildings and land with agreed</p>	<p>Greenfield Land Land which has never been previously developed.</p> <p>Green Network</p>

GLOSSARY

<p>The linking together of natural, semi natural and manmade open spaces to create an interconnected network that provides opportunities for physical activity, increases accessibility within settlements and to green belt while enhancing biodiversity and the quality of the external environment.</p>	<p>L</p>	<p>or design to avoid, reduce or remedy adverse effects of a development proposal.</p>
<p>H</p>	<p>Listed Buildings Buildings identified for their special architectural or historic interest which have been given additional protection through legislation.</p>	<p>N</p>
<p>Habitat Network A habitat network is a set of separate areas of habitat which are sufficiently connected for a particular species to move between the individual areas.</p>	<p>Local Biodiversity Action Plan A plan aimed at conserving and enhancing the fauna, flora and habitats (biodiversity) of a defined area.</p>	<p>Natura 2000 Natura sites represent the very best of Scotland's nature. Natura is the term given to Special Areas of Conservation (SACs) and Special Protection Areas (SPAs). These internationally important sites are designated under two of the most influential pieces of European legislation relating to nature conservation, the Habitats and Birds Directives.</p>
<p>Habitats Regulation Appraisal (HRA) The Habitats Regulations require competent authorities to carry out appropriate assessments in certain circumstances where a project or plan will affect a Natura (European) site. HRA refers to the whole process, including the appropriate assessment step.</p>	<p>Local Housing Strategy Sets out the housing needs of the area (both the privately owned and rented sectors) and outlines plans to address those needs over a 5 year period.</p>	<p>Natural Environment Natural landscape together with all of its non-human features, characteristics and processes.</p>
<p>Housing Requirement Housing requirement is the total amount and type of housing necessary to accommodate a given or projected population at appropriate minimum standards. This includes both housing need and demand.</p>	<p>Local Nature Reserves (LNR) Places with special local natural interest, designated and managed by local authorities to give people better opportunities to learn about and enjoy nature close to where they live; designated under the National Parks and Access to the Countryside Act 1949.</p>	<p>National Planning Framework The Scottish Government's vision and strategy for Scotland's long term spatial development.</p>
	<p>M</p>	<p>O</p>
	<p>Main Issues Report A report which identifies the main issues that face areas as well as setting out the general proposals for the future development of Renfrewshire.</p>	<p>Open Space Green spaces within and on the edges of settlements, including allotments, trees, woodland, paths and civic space consisting of squares, market places and other paved or hard landscaped area with a civic function.</p>
	<p>Mitigation Measures, including any process, activity</p>	

GLOSSARY

P

Placemaking

An approach to planning and design which considers the built environment, the communities within Renfrewshire and the quality of life that comes from the interaction of people and their surroundings.

Peatland or carbon-rich soil

Peat and other soils that are rich in carbon. Where peatland is drained or otherwise disturbed, there is liable to be a release of CO₂ to the atmosphere.

R

Ramsar Site

Ramsar sites are wetlands of international importance, which provides for the conservation and good use of wetlands designated under the Ramsar Convention.

Renfrewshire Community Plan

The Community Plan brings together public sector agencies (including the council, the police and the health service), voluntary organisations and local communities to plan what the community wants to achieve for Renfrewshire, and how the partners can work together to achieve this.

S

Scheduled Monument

An archaeological monument of national importance that is legally protected under the Ancient Monuments and Archaeological Areas Act 1979.

Scottish Planning Policy

Scottish Government's policy statement on land use planning matters.

Sites of Importance for Nature Conservation (SINC)

Sites important for local nature conservation and geographical value.

Sites of Special Scientific Interest (SSSI)

Key areas of marine or land-based conservation and wildlife importance. They are special for the nature conservation value of the plants, animals, habitats or rock formations that they contain; designated by SNH under the provisions of the Wildlife and Countryside Act 1981.

Special Protection Area (SPA)

Designated under European Union legislation for specific protection of birdlife.

Strategic Environmental Assessment (SEA)

An environmental assessment of plans, programmes and strategies.

Sustainable Development

Development that meets the current and

future needs of an area without compromising the built and natural environment.

Sustainable Flood Risk Management

Partnership working to provide the maximum possible resilience against flooding from all sources through various techniques and systems, protecting and enhancing the environment in a way which is fair and affordable, both now and in the future.

Sustainable Urban Drainage Systems (SUDS)

A range of techniques to manage the flow of water runoff from a site by allowing water control and treatment on-site, reducing the impact on existing drainage systems.

T

Transition Areas

Areas of change within Renfrewshire where the land use zoning requires to be flexible to encourage development of appropriate uses. Includes brownfield sites that had previous uses that are now vacant or derelict.

Tree Preservation Order (TPO)

The designation of trees in conservation areas that contribute significantly to the amenity value of an area. A TPO designation requires that the Council is consulted before any works are carried out to them including routine maintenance.

GLOSSARY

Trunk Road

Primary strategic routes which are the direct responsibility of Transport Scotland, who are consulted on if any planning application could affect a trunk road.

W**Water Environment**

Surface waters (inland, coastal and transitional), groundwater and wetlands.

Wild Land

Scottish Natural Heritage define this as parts of Scotland where the wild character of the landscape, its related recreational value and potential for nature are such that these areas should be safeguarded against inappropriate development or land-use change.

Z**Zero Waste Plan**

Scottish Government's vision for a zero waste society, where all waste is seen as a resource; waste is minimised; valuable resources are not disposed of in landfills, and most waste is sorted, leaving only limited amounts to be treated.



For Board Consideration

This publication can be made available in Braille, large print or audio.

If you would like information in another language please ask us.

如欲索取以另一語文印製或另一格式製作的資料，請與我們聯絡。

اگر آپ کو معلومات کسی دیگر زبان یا دیگر شکل میں درکار ہوں تو برائے مہربانی ہم سے پوچھئے۔

ਜੇ ਇਹ ਜਾਣਕਾਰੀ ਤੁਹਾਨੂੰ ਕਿਸੇ ਹੋਰ ਭਾਸ਼ਾ ਵਿਚ ਜਾਂ ਕਿਸੇ ਹੋਰ ਰੂਪ ਵਿਚ ਚਾਹੀਦੀ, ਤਾਂ ਇਹ ਸਾਥੋਂ ਮੰਗ ਲਓ।

Jeżeli chciałoby Państwo uzyskać informacje w innym języku lub w innym formacie, prosimy dać nam znać.

 0300 300 0300

 localplanconsultation@renfrewshire.gov.uk



Renfrewshire Local Development Plan

New Development Supplementary Guidance 2019 (DRAFT)



Renfrewshire New Development Supplementary Guidance

The Renfrewshire Local Development Plan is in two parts; the Local Development Plan and the New Development Supplementary Guidance. Together these documents set out the overall Spatial Strategy for Renfrewshire.

The policies, proposals and guidance are structured into five themes, which include:

- **Economy**
- **Centres**
- **Infrastructure**
- **Places**
- **Environment**

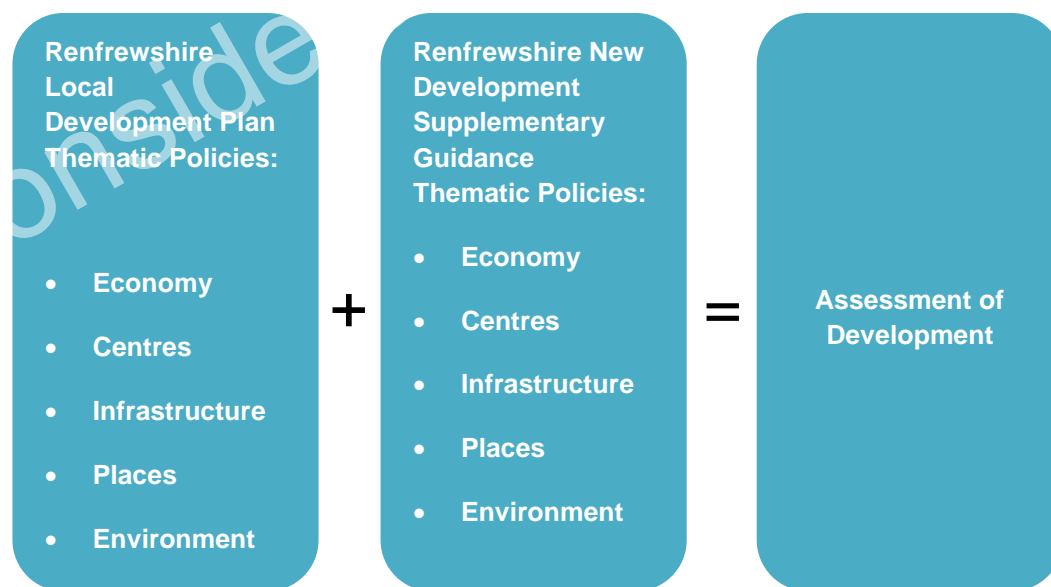
The Renfrewshire Local Development Plan sets a framework for the enhancement of Renfrewshire's diverse natural environment, built and cultural heritage assets, the delivery of new economic and infrastructure investment and guides the future use of land to create strong communities and attractive places across Renfrewshire.

The detailed development criteria for the assessment of proposals is contained within this New Development Supplementary Guidance.

How to use the Plan

All developments must be assessed against the policies set out in the Renfrewshire Local Development Plan, the guidance and criteria in the New Development Supplementary Guidance.

Both provide an integrated development framework providing a consistent approach to the assessment of planning applications.



Economic Investment Locations

Renfrewshire's Economic Investment Locations consist of Strategic Economic Investment Locations (SEILs) and Local Industrial Areas.

Development proposals in these economic locations should meet the following criteria:

- Support the role and function of the economic investment locations as identified in Figure 1 and be compatible with the surrounding character of the area;
- Support sustainable and inclusive economic growth as well as allowing diversification or transition into new economic sectors or clusters in response to changing markets and/on demand;
- Employment generating uses not listed in Classes 4 (Business), 5 (General Industry) and 6 (Storage & Distribution) of the Use Classes Order will be supported in these locations subject to the consideration of Clydeplan Strategic Development Plan (2017) for development within SEILs and Local Development Plan Policies E1 and E2;
- Development should not impact upon the existing uses or potential economic investment within the area;

- Proposals for waste management infrastructure will be acceptable where it conforms to, meets and delivers the objectives of the Zero Waste Plan as well as demonstrating that it will not have a significant adverse impact upon amenity or operation of other uses, subject to site specific considerations; and,
- All proposals will be considered in relation to Policy E1, E2 and the Economic Development Criteria.



Hillington Business Park

DELIVERING THE ECONOMIC STRATEGY - DEVELOPMENT GUIDANCE

Figure 1 – Renfrewshire’s Economic Investment Locations

Renfrewshire’s Economic Investment Locations	Role and Function	Challenges/Opportunities
Strategic Economic Investment Locations (SEIL)		
Advanced Manufacturing and Innovation District Scotland (AMIDS)	Distribution and Logistics/ Manufacturing/ Engineering/ Green Technologies/ Life Sciences/ Research and Development/ Airport related uses.	<p>Consists of Inchinnan Business Park, Westway and Netherton Farm area clustered around Glasgow Airport.</p> <p>City Deal Investment to improve access to Glasgow Airport and connectivity within the Strategic Economic Investment Locations facilitating the development of key development sites. Key location to support innovation in manufacturing across Scotland.</p> <p>This location also includes a Strategic Freight Hub which supports the operation of Glasgow Airport and the Strategic Economic Investment Locations.</p>
Hillington/ Renfrew North	Distribution and Logistics, Manufacturing/ Engineering, Business Services.	<p>A Simplified Planning Zone is in place supporting sustainable and inclusive economic growth at Hillington Business Park. Opportunity to diversify uses to adapt to changing market demands and facilitate the redevelopment of key sites.</p> <p>This location also includes a Strategic Freight Hub which supports the operation of the Strategic Economic Investment Locations.</p>
Bishopton	Distribution and Logistics, Manufacturing/ Engineering.	<p>Opportunity for employment generating uses to support development of the Community Growth Area. Planning consent has been granted for residential development on this land. The future zoning of this site will be reviewed in preparing the next Development Plan.</p>

DELIVERING THE ECONOMIC STRATEGY - DEVELOPMENT GUIDANCE

Figure 1 – Renfrewshire’s Economic Investment Locations

Renfrewshire’s Economic Investment Locations	Role and Function	Challenges/Opportunities
Local Industrial Areas		
Burnbrae, Linwood	Locally important industrial area. Strategic Freight Transport Hub with road/rail transfer facility.	Good accessibility to freight hub, M8 and Glasgow Airport offers significant potential for new economic investment at this location. Intermodal terminal providing sustainable road/rail freight transfers, removing goods vehicles from the road network.
Land to north east of Phoenix Commercial Centre, Linwood	Major regeneration opportunity	Key strategic location to the west of Paisley and the airport, along the M8/A737 trunk road. The site has outline planning consent for over 50,000 sq.m of business and industrial space within a wider mixed-use development.
Murray Street, Paisley	Locally important local industrial area.	Location includes a range of businesses and available properties/development sites. Proximity to the M8 and Glasgow Airport offers significant potential for new economic investment at this location.
Paisley Town Centre/Town Centre North	Renfrewshire’s administrative, education, civic, local business and financial centre.	Significant regeneration potential for the area to the north of the town centre. Opportunity to enhance access to Glasgow Airport and the Advanced Manufacturing and Innovation District Scotland.

Transition Areas

New development or redevelopment of sites which are described as Transition Areas may be suitable to incorporate various uses.

Figure 2 identifies areas that are in transition and details potential uses for each of these areas. Development proposals should meet the following criteria:

- Demonstrate that the type of use, mix, scale and location of the development is appropriate for the site and wider surrounding area;
- Consideration should be given to comprehensive development with the use of a masterplan or design brief/framework approach;
- All proposals will be considered in relation to the relevant development criteria, for example, a proposal for a new residential development in a Transition Area will also be considered against the Places, Infrastructure and Environment Development Criteria.
- Proposals for waste management infrastructure will be acceptable within Transition Areas where it conforms to, meets and delivers the objectives of the Zero Waste Plan as well as demonstrating that it will not have a significant impact upon amenity or operation of other uses, subject to site specific considerations.

Business and Industrial Development out with Renfrewshire's Economic Investment Locations

Proposals for new business and industrial development out with Renfrewshire's Economic Investment Locations will be considered in relation to the Economic Development Criteria and the relevant Renfrewshire Local Development Plan Policies and associated Supplementary Guidance.

Where appropriate proposals for home-working, micro businesses and community hubs will be supported subject to consideration against the relevant Local Development Plan Policies and Development Guidance and where there is no significant detrimental impact on amenity.



Erskine Riverfront Transition Area

DELIVERING THE ECONOMIC STRATEGY - DEVELOPMENT GUIDANCE

Figure 2 – Transition Areas

Location of Transition Area	Acceptable uses within Transition Area
Erskine Riverfront	Business and industrial uses within Classes 4, 5 and 6 of the Use Class Order, residential, hotels, residential institutions, educational facilities, nurseries, leisure, restaurants and other commercial uses of a scale appropriate in relation to the Network of Centres. Includes important riverfront recreational asset and access to the riverfront requires to be retained.
Candren Area, Paisley	Business and industrial uses within Classes 4, 5 and 6 of the Use Class Order, hotels, leisure uses, educational facilities and other commercial uses of a scale appropriate in relation to the Network of Centres.
North Johnstone	Business and industrial uses within Classes 4, 5 and 6 of the Use Class Order, hotels, residential, residential institutions, educational facilities, nurseries and other commercial uses of a scale appropriate in relation to the Network of Centres.
Paisley East End	Residential, offices, storage facilities, educational facilities, nurseries, residential institutions and other commercial uses of a scale appropriate in relation to the Network of Centres.
Middleton Road, Linwood	Residential, residential institutions, educational facilities, nurseries, business and light industrial and other commercial uses of a scale appropriate in relation to the Network of Centres.
Meadowside Street/ Blythwood Area, Renfrew	Residential, residential institutions, educational facilities, leisure, nurseries, business, and waste management and other commercial uses of a scale appropriate in relation to the Network of Centres.
Paisley Town Centre North Area	Business and industrial uses within Classes 4, 5 and 6 of the Use Class Order, hotels, residential, residential institutions, educational facilities, nurseries and leisure and other commercial uses of a scale appropriate in relation to the Network of Centres. Opportunity to enhance access to Glasgow Airport and the Advanced Manufacturing and Innovation District Scotland.
Underwood Road, Paisley	Business and industrial uses within Classes 4, 5 and 6 of the Use Class Order, residential, residential institutions, educational facilities, nurseries, leisure and other commercial uses of a scale appropriate in relation to the Network of Centres.

Glasgow Airport

Glasgow International Airport is a key component of the economy at the national, regional and local level. The Airport is an international gateway with important linkages to wider business and tourism markets.

Existing operational land for the airport, as shown on the Proposals Maps, requires to be safeguarded allowing the airport to operate to its full potential.

Development proposals within the Glasgow Airport Public Safety Zone require to be considered in accordance with the stated Government policy contained in the Scottish Government Circular 8/2002 and any future policy updates.

Within the airport operational land there will be support for uses associated with the airport which includes:

- The movement and maintenance of aircraft;
- The embarking, loading, discharging or transporting of passengers, livestock or goods; and,
- Development in Classes 4 (business), 6 (storage and distribution) and 7 (hostels and hotels), car parking and car rental facilities, where it can be demonstrated that the development is associated with the functioning of the airport.



Tourism

Tourism is an important element of the economic, social, environmental and cultural well-being of Renfrewshire's places and environment and a key driver of the economy. Proposals for new tourist facilities and attractions will be considered in relation to the aims of Renfrewshire's Tourism Framework and Visitor Plan.

Improvements and enhancements to existing or the creation of new tourist facilities and attractions will be supported subject to the following criteria:

- The development will add to Renfrewshire as a visitor destination and will contribute to the local economy providing new employment opportunities with a social and/or cultural benefit to the area;
- The proposal does not result in a significant detrimental impact on visual amenity, the built heritage or natural heritage interests;
- The design, quality and density of development is appropriate for the location and surrounding area;
- The scale, positioning and location of the development is appropriate;
- The amenity of the surrounding area will not be significantly affected by the nature of the proposed development;
- Suitable infrastructure and services are available or can be provided to serve the development proposal;
- The site is accessible by a choice of transport options and access within and out with the development connects to active travel routes and/or the wider green network;
- The road network can accommodate the development;
- Development assists in a reduction in emissions and incorporates a design which promotes energy efficiency and the use of low carbon generating technologies;
- Development encourages participation and enjoyment of Renfrewshire's natural heritage assets, ensuring that there are no significant adverse effects on the natural environment including biodiversity and landscape character; and,
- The development can demonstrate a site specific locational need and/or address a deficit in the provision of tourist facilities in the area.

Strategic Centres and Core Town Centres

- Development proposals require to support the diverse role and function of Renfrewshire's Strategic Centres and Core Town Centres reflecting a sustainable mix of activities and uses.
- Development which will enhance the vitality and viability of centres and strengthen their key role within Renfrewshire's Network of Centres will be welcomed.
- All proposals will be considered against Renfrewshire Local Development Plan Policy C1 and the Centre Development Criteria.

Local Service Centres and Village Centres

- Proposals within Local Service Centres and Village Centres will be supported where they demonstrate that they will meet local need and will not significantly impact on the viability or vitality of the existing centre or any other network centre.
- The scale of development proposal should reflect the size of community that the centre serves. Support will be given to proposals which enhance and regenerate these centres.
- All proposals will be considered against Renfrewshire Local Development Plan Policy C1 and the Centre Development Criteria.

Local Commercial Centres

These centres provide a location for retail development that typically cannot be located within the other centres in the network. There may also be opportunities for some ancillary and/or enabling commercial development to complement the existing uses.

Proposals within Renfrewshire's three local Commercial Centres will be supported where they:

- Sustain the role and function of the centre as identified in Figure 3; and,
- Demonstrate that there would be no significant adverse impact upon the role and function of any other network centre.

Meeting Local Neighbourhood Demand

Retail and commercial development out with the defined Network of Centres will be considered acceptable in principle where the proposal meets a local neighbourhood demand and subject to meeting the criteria within Policy C2 and the relevant policies identified on the Proposals Map.

For the purposes of assessing local supply and demand, the catchment will be defined by the area from which the site is easily accessible on foot.

DELIVERING THE CENTRES STRATEGY - DEVELOPMENT GUIDANCE

Figure 3 – Renfrewshire's Network of Centres - Role and Function

Centre	Role and Function
Strategic Centres	
Paisley Town Centre	Renfrewshire's main cultural, heritage and civic centre. Offers a diverse mix of uses and attributes providing a hub for public transport, business, retail, leisure, education and community uses. A spatial development framework for the town centre is presented in the Renfrewshire Local Development Plan.
Braehead	Renfrewshire's largest retail and leisure centre with strong supporting commercial and business uses. A spatial development framework for the centre is presented in the Renfrewshire Local Development Plan.
Core Town Centres	
Johnstone Town Centre	The largest and most diverse centre within West Renfrewshire with a strong, historic character and a rich heritage. A civic, cultural and local retail centre which provides key services for both the local population and settlements across West Renfrewshire.
Renfrew Town Centre	The largest centre within North Renfrewshire with a distinctive character and a number of historic listed buildings reflecting the identity of the town. The centre has strong civic, cultural and local retail functions which provide key services for the local population and neighbouring settlements. A Simplified Planning Zone is in place to support diversification of uses
Erskine Town Centre	Local retail, leisure and commercial centre which provides key services for the local community and settlements such as Inchinnan and Bishopton.
Linwood Town Centre	Linwood is a local retail and commercial centre which plays an important role in providing key services for the local community and supporting the choice of provision across West Renfrewshire.
<i>A Centre Strategy and Action Plan has been prepared for each Strategic Centre and Core Town Centre to guide investment in the Centre. The Local Development Plan Action Plan/Delivery Programme includes an action to review these strategies every two years.</i>	

DELIVERING THE CENTRES STRATEGY - DEVELOPMENT GUIDANCE

Figure 3 (cont) – Renfrewshire’s Network of Centres - Role and Function

Centre	Role and Function	Centre	Role and Function
Local Service Centres		Commercial Centres	
Bridge of Weir	Local convenience retail, commercial and community village centre	Phoenix, Linwood	Out of town retail and commercial centre accommodating a range of commercial, food and drink and retail uses
Bishopton	Local convenience retail, commercial and community village centre	Abbotsinch, Paisley	Out of town retail centre accommodating a range of retail uses
Bishopton (Dargavel Village)	Local convenience retail, commercial and community village centre supporting delivery of the Community Growth Area	Braehead Retail Park	Retail and Commercial Location providing a range of commercial and retail uses in support of Braehead Strategic Centre
Lochwinnoch	Local convenience retail, commercial and community village centre	Blythswood, Renfrew	Transition Area able to support a range of uses and facilities of a scale appropriate in relation to the Network of Centres
Paisley West End	Local retail and commercial service centre		
Paisley East End	Local retail and commercial service centre		
Neilston Road	Local retail and commercial service centre		

Hot Food; Public Houses; Licensed Venues and Amusement Arcades

Proposals for Class 3 uses, hot food takeaways, public houses and bars, licensed clubs, amusement arcades and entertainment venues such as night clubs, will be directed to Strategic Centres, Core Town Centres and Local Service Centres as defined within the Renfrewshire Local Development Plan Proposals Maps.

All proposals will be considered against the following criteria:

- Pedestrian safety, traffic and parking must not be prejudiced with suitable access provided;
- There must be no significant impact on the residential amenity, in terms of hours of operation, noise, disturbance, cooking odours, fumes or vapours;
- Suitable and well-designed provision for the collection and storage of waste should be conveniently sited for both the premises (or other user) and the waste collection authority;
- The applicant must demonstrate full control to install a flue extraction system to ventilate and disperse cooking odours;
- The design of the flue must be visually acceptable and will generally be required to extend a minimum of 1.0 metre above the eaves level of the adjoining property; and,
- Suitable parking and servicing arrangements must be provided to serve the proposed use.



Connecting Places

All proposals will be considered against the following criteria:

- The suitability of the location taking account of its function and accessibility;
- The provision of a safe and convenient pedestrian and cycle access to and within the development which can be used by all potential users, with links to existing active travel routes in and around places;
- Ensure the implementation of safe pedestrian routes to public transport/ services/open space from the proposed site;
- Access to public transport networks should be within 400 metres walking distance of the development;
- Ensure provision is made in development layouts for facilities giving priority to and allowing penetration by buses, where appropriate;
- Aim to ensure, where development is in close proximity to rail stations/halts, that provision is made for good direct, safe access to and from these facilities;
- Assess the full transport impacts of new development including the potential impact on the performance and safety of the trunk road and/or rail network and the measures required to mitigate impact arising from development;
- The design, layout and standard of any proposed active travel or transport infrastructure is appropriate to the local environment and the character of the surrounding area to achieve safe movement of pedestrians, cyclists and traffic ensuring a pleasant and safe environment;
- Connections to and from development are required to be in line with the 'Getting It Right for Every Child' approach;
- The provision of parking for vehicles, including disabled parking and parking for cycles and motorcycles, is made in accordance with national standards;
- The individual and cumulative impact from the traffic generated by the development does not significantly affect air quality; and,
- Masterplans, development briefs and proposals for major developments require to include satisfactory mechanisms or provisions for supporting sustainable transport objectives along with additional infrastructure, facilities and services required to support the development.

Communications and Digital Infrastructure

The expansion of the communications network including telecommunications, broadband and digital infrastructure will be supported. Proposals for new communications and digital infrastructure should be designed, positioned and sited as sensitively as possible taking account of the surrounding environment and any cumulative impact.

The following criteria should be considered for communications and digital infrastructure developments:

- Technical and operational considerations;
- Installation of smallest suitable equipment;
- Mast sharing;
- The proposed equipment fits with the wider environment, including the visual impact;
- Landscaping/screen planting incorporated into proposal; and,
- The availability of alternative sites.

New development proposals require to be designed in such a way as to incorporate high speed digital connections and other digital technologies that could improve connectivity while optimising energy efficiency contributing to a reduction in the carbon footprint of the building.

Provision for Waste Recycling in New Developments

Development including residential, commercial or industrial properties should include provision for waste separation and collection to meet the requirements of the Waste (Scotland) Regulations in line with Renfrewshire Council's Refuse Collection Standards.

Suitable and well-designed provision for the collection and storage of waste should be conveniently sited for both the householder (or other user) and the waste collection authority.



Flooding and Drainage

All proposals will be considered against the following criteria:

- Development proposals require to adopt a precautionary approach to the reduction of flood risk from all sources and comply with the principles of sustainable flood risk management in line with Scottish Planning Policy;
- New development requires to avoid areas susceptible to flooding;
- Development must not increase the risk of flooding elsewhere;
- Development must not have an adverse impact on existing drainage infrastructure and it must be demonstrated that the site can be satisfactorily drained. Sustainable Urban Drainage System features which are adequate for the development and appropriate maintenance arrangements should be in place;
- The capacity of the functional flood plain to store water must not be reduced;
- Development must not result in additional discharge of surface water;
- The risk of flooding to the development itself can be satisfactorily mitigated;
- Developments requires to maximise the amount of permeable surfaces;
- Existing flood protection/defence mechanisms are protected with development not compromising the potential for future flood management proposals;
- Unnecessary engineering works in the water environment will be resisted, including culverting of existing water sources. Opening existing culverts will be welcomed and encouraged;
- Where additional flood protection measures are required there should be consideration of natural flood management and the use of green infrastructure which can be integrated into the site;
- Land raising will not be accepted unless compliance with national policy can be demonstrated and any loss of local flood storage capacity can be secured;
- It must be demonstrated that there is the ability to effectively deal with foul drainage from all developments; and,
- Flooding and drainage measures should aim to have a positive effect on the natural environment in and around the site.

Where the risk of flooding is deemed unacceptable, the proposal will not be permitted.

Where a flood risk assessment or drainage assessment is required, national guidance along with the principles set out above and advice set out in flood risk planning advice notes produced by Renfrewshire Council and SEPA's Flood/Drainage guidance should be considered.

Renewable and Low Carbon Energy Developments

An increase in the proportion of electricity produced from renewable sources and the recovery of waste heat will be supported in principle. All proposals will be considered against the following criteria:

- During the process leading to the selection of the proposed site, consideration must also be given to suitable alternative sites, with the selection of the proposed site justified;
- There requires to be no significant unacceptable impact on the amenity of nearby residents, in terms of statutory air quality objectives, noise or other nuisances including glare and shadow flicker;
- Significant visual intrusion within the landscape in terms of scale, location, design, etc. has been minimised;
- There will be no unacceptable impacts on the transport network including, Glasgow Airport, additional traffic generation and/or road safety. Proposals must demonstrate that any additional impacts can be mitigated against;
- There will be no unacceptable adverse impact on the natural or historic environment within the area;
- The individual or cumulative impact of the proposed development, including any other existing and approved similar developments; will not lead to an unacceptable impact on the environment, amenity, community or recreational interest;
- There will be no loss of public access routes, open space or recreational facilities. If proposals do have an impact, then alternatives or mitigating measures must be provided;
- SEPA's Thermal Treatment of Waste Guidelines should be followed where development involves recovering energy from waste;
- Where technically feasible and financially viable, development with a high heat demand should seek to be co-located with and make use of heat supply sources;
- Where technically feasible and financially viable new development proposals should consider the potential to incorporate community heating to serve the development. All Major Development planning applications should consider the feasibility of meeting the development's heat demand through a district heating network which could serve, or could easily be adapted to connect to, a wider network if and when required to give greater energy efficiency;
- Arrangements require to be in place to restore the site to an acceptable standard after the operation has ceased;
- Where suitable, consider the potential to connect new projects to off-grid areas; and,
- Demonstrate the scale of contribution from the development to renewable energy generation targets; and the effect on greenhouse gas and carbon emissions.

Solar PV Farms

In addition to the guidance on Renewable and Low Carbon Energy Developments all development proposals for Solar PV Farms will be considered against the following criteria:

- Development requires to be sited to minimise the visual effect on landscapes and provisions will be made to screen the development using natural features such as hedges and/or trees;
- Where a development is proposed on prime quality agricultural land¹, on land with an environmental designation, or of historical significance, applicants must provide sufficient information on the potential impact on this existing land use and the mitigation that will be provided;
- There is no significant impact on landscape/visual amenity, aircraft, rail and road safety in terms of glint and glare;
- Any lighting and security fencing should be kept to a minimum. Natural features should be used where possible to assist in site security and screen security fencing;
- Access tracks to the solar farm should be kept to a minimum to better enable the site to be returned to its previous condition;
- Construction compounds needed to enable the development requires to be located to minimise its environmental and amenity impact. Details of the size and location of the site office, machinery, plant and construction materials should be provided;
- Foundations which enable the ground to be returned to its previous use will be preferred. Trenching and foundations require to be kept to a minimum;
- An appropriate ground maintenance programme will be required, and solar farms should be designed to enable management through grazing by small livestock. This would require panels to be positioned at least 70cm above ground level and cabling to be suitably protected;
- On completion of the construction works, a Post Construction Road Survey will require to be undertaken by the applicant and any remediation works required will be agreed in writing with Renfrewshire Council. Any remediation works will require to be funded by the applicant; and,
- Solar PV Farms are considered to be a temporary use of land will require to be returned to its previous use on expiry of planning consent. Any decommissioning works will be agreed with Renfrewshire Council and funded by the applicant.

¹ Agricultural land identified as being Class 1, 2 or 3.1 in the land capability classification for agriculture developed by Macaulay Land Use Research Institute (now the James Hutton Institute)

Developers Contributions

Early discussion (pre-application stage) with the planning authority will be required to establish the infrastructure requirements of a proposed development.

Developer contributions will be required to address any infrastructure deficits to support new development. This will include:

- Community facilities required to support the development including education, health, sport and recreation;
- Transport infrastructure and traffic management measures;
- Water and Sewage infrastructure; and,
- Placemaking measures including open space, active travel and green infrastructure provision and where necessary any future maintenance.

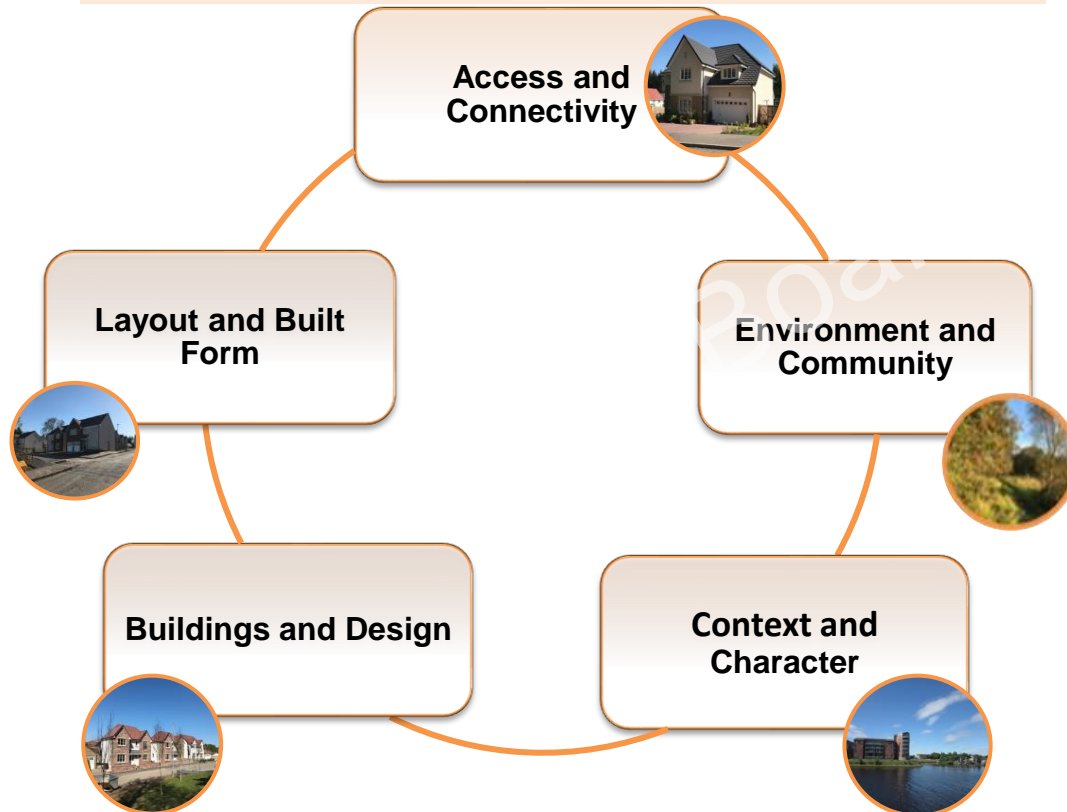
Any developer contribution that is required to support a proposed development will be secured through the planning application process.



Creating Places

Successful places are areas which support a mix of uses, where people live, work and enjoy leisure time. Places should be adaptable to future uses, balancing the interests and opportunities that are right for a particular place.

In considering the above, Renfrewshire's Places Design Guidance sets out a range of considerations that form the basis of good 'places' design which should be considered and reflected in development proposals within Renfrewshire.



Alterations and Extensions to Existing Properties

Development will be considered in relation to the following criteria:

- The development requires to be of an appropriate scale, size and massing which does not constitute over development and reflects the established development pattern;
- Reflect the design and materials of the existing house and the character of the surrounding area;
- The amenity of the neighbouring residents or the surrounding area is protected.

Residential Development within Garden Grounds

Development will be considered in relation to the following criteria:

- The position, orientation and access to the proposed house and the relationship with the existing and surrounding properties requires to maintain and respect the established development pattern;
- The new residential unit will not result in back-land development;
- The scale, size, massing and associated garden space of the proposed new residential unit will be similar to surrounding dwellings in the area;
- The privacy and amenity of the existing and proposed residential units will be comparable and protected.

Change of Use from Amenity Space to Garden Ground

Enlarging garden areas by extending them into amenity space and areas of landscaping requires planning permission to change amenity space to garden ground.

Assessment of the proposals will require to be considered in relation to the following criteria:

- Proposals should not significantly affect the character and appearance of the amenity space, detracting from the amenity of the surrounding area;
- Development should not significantly fragment or incrementally erode amenity space;
- The proposals should not lead to a deficiency in recreational and/or public open space in the area or adversely impact on any active travel or green networks;
- Development should not result in the loss of trees that make a significant contribution to the area or result in a detrimental impact on the visual amenity of the area; and,
- The development should not lead to an undesirable precedent being set.

Preparing your Householder Development Proposals

Extensions to the Front of Dwellings

Porches

A porch is a small addition to the front or side of a house which provides a covered entrance to the property.

Porches should be;

- Small scale;
- Sympathetically designed structures which are not obtrusive and do not overwhelm the building or the character of the street;
- Materials should match the original property;
- Larger porches which incorporate additional rooms such as a utility room or toilets are unlikely to be acceptable; and,
- Within Conservation Areas it is unlikely that any proposed development would be acceptable in front of the building line.

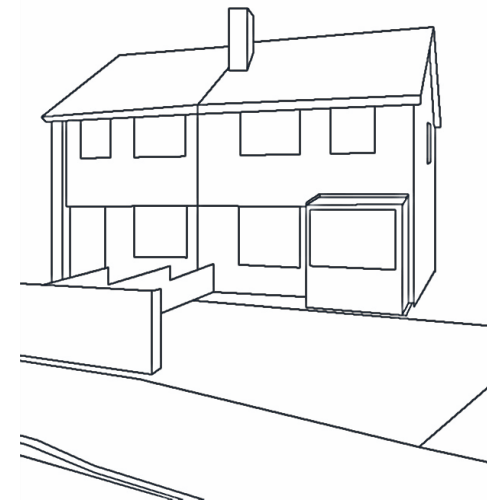


Front Extensions

Extensions to the front of properties need to be designed well as the front of the property is often the most prominent part of the house visible from the street frontage.

Single storey extensions may be considered acceptable when they are:

- Of a scale and design that is complimentary to the original property;
- Where the property is on an acceptable plot; and,
- Where the property is set back from the front boundary, and where there is not a uniform street scene.



Extensions to the Side of Dwellings

Two Storey Extensions

Two storey extensions may be considered acceptable where:

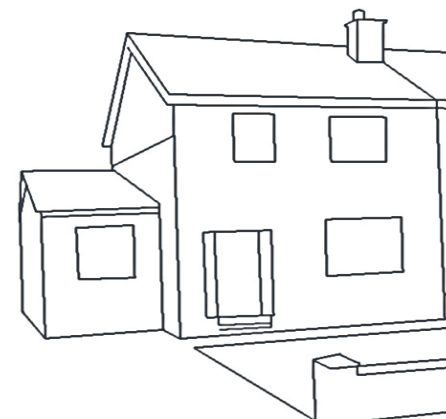
- They are designed to avoid causing an unacceptable loss of light or privacy for neighbours;
- They should be set back from the front elevation of the original property, be set back from the side boundary and be no more than half the width of the original property; and,
- Extensions should also be constructed in materials and style to match the original dwelling.



Single Storey

Single storey extensions may be considered acceptable where:

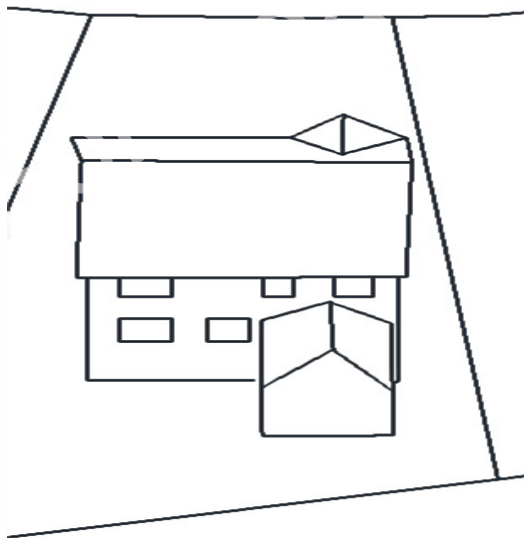
- The scale and design is appropriate to the property and locality;
- The plot size is suitable and can accommodate the extension;
- Access retained to the rear of the property;
- Appropriate materials should be used that matches the existing property;
- A side extension should generally be no greater than half the width of an existing property to ensure that the existing property remains the dominant feature;
- If a side extension is constructed on an existing driveway consideration should be given to how suitable parking arrangements will be retained; and,
- The pitch of the roof should be the same as the main property.



Extensions to the Rear of Dwellings

Rear extensions may be considered acceptable where:

- Consideration is given to the position to prevent loss of sunlight and daylight to neighbouring properties;
- There is consideration of the position of windows to habitable rooms in neighbouring properties;
- There is minimal impact on privacy to neighbouring properties;
- Both single and two storey rear extensions should be subordinate to the original property;
- The garden is not reduced to an unreasonably small size;
- The ridge line should also sit below the ridge of the house; and,
- Extensions should have the same roof design as the main property.



Two Storey

Two storey rear extensions should also:

- Not extend more than 4 meters into garden ground from the rear elevation of a property; and,
- Be positioned at least two metres from the boundary of a semi-detached or terraced property.



Dormer Windows and Roof Extensions

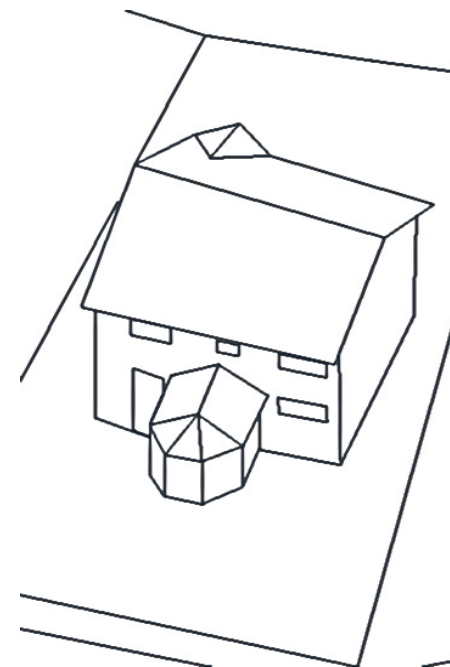
Dormer windows may be considered acceptable where:

- They are small, discrete additions which retain the character of the original roof;
- They are ideally located to the rear of a property;
- They are set below the ridge line of the property and above the eaves;
- They do not dominate the roof;
- The dormer should have external finishing materials to match the existing roof and windows; and,
- The window detailing should also match the character, proportion and style of windows on the main property.



Conservatories

- Conservatories should be located to the rear of a house or in a non-prominent position to the side;
- Rarely will conservatories be acceptable to the front of a house;
- If a conservatory has a dwarf wall/plinth this should normally match the walling material of the original house, unless a more contemporary approach is proposed; and,
- As with a normal extension to the rear of a house, attention must be paid to the impact that the conservatory would have on neighbours due to loss of privacy, over-domination and loss of natural daylight.



Outbuildings including Garages and Carports

- All outbuildings, including garages, carports, bin stores and cycle stores, should be set behind the front building line; and,
- Detached garages should be proportionate in scale to the site and be completed in materials to match or complement the appearance of the main building.



Decking, Terraces and Balconies

Decking, balconies and roof terraces can provide valuable and welcome amenity space for properties. Careful consideration is required to the location and design of any decking, roof top balcony or terrace in order to protect residential amenity and seek to avoid significant overlooking.

Boundary Walls, Fences, Gates and Hedges

Boundary treatments including walls, fences, gates and hedges have a variety of functions. The type of boundary treatment, its materials and its height help to define the character and appearance of an area. When considering new boundary treatments consideration should be given to:

- The design and height of boundary walls, railings and gates should relate to the character of the street/surrounding area;
- Details such as railed sections and pillars can reduce the visual impact of a high wall;
- Visibility at the entrance to a drive is important in road safety terms. A fence or wall on a side boundary can obstruct visibility to a drive;
- Good quality materials should be considered for the fence and wall; and,
- Hedges can provide an attractive natural boundary if properly maintained.

Overshadowing and Daylight and Sunlight

Extensions should not overshadow neighbouring properties to an unacceptable level. The 45-degree rule can be used to establish the maximum permissible height, depth and width of an extension. However, it is only a general rule of thumb. The 45-degree rule can be used to check if your extension may result in a loss of light to adjoining windows



Sunlight

The 25 degree rule provides a guideline for ensuring that buildings receive a reasonable amount of sunlight. The method uses a 25 degree line drawn in section from the horizontal midpoint of the ground floor window. This method should be applied in situations where existing windows would directly face the proposed building or extension.

Other Consents

Before you submit your completed design you should double check your proposal does not require any additional permission including:

Listed Building Consent

Listed Building Consent will be required for extensions and alterations to a listed building, even if planning permission is not required. If your building is listed and you also require Planning Permission, it may be a good idea to apply for both consents at the same time.

Conservation Areas

Under planning laws, the Council has a duty to protect, preserve and enhance the buildings and structures in the Conservation Areas. If you plan to undertake any demolition work in a Conservation Area you will require Conservation Consent. You are also required to give the Council six weeks' notice in writing if you want to do work to a tree in a Conservation Area.

Building Standards

If you propose to erect a new building, to alter or extend an existing building, to convert a building or to demolish a building, you will normally require building warrant permission. Permission is granted in the form of a Building Warrant which must be obtained prior to starting work. A warrant will be granted if the proposals meet the requirements of the building regulations. It is an offence to begin work, for which a Building Warrant is required, without such a warrant. If a warrant is not obtained, this may lead to enforcement action being taken and it could also cause difficulties during property transactions.

Residential Use of Centres

Upper Floor Residential Developments

- New residential developments in the upper floors of the town centres of Paisley, Renfrew and Johnstone will be encouraged in principle when they are in accordance with the Centres policies.

Re-Use/Redevelopment of Institutional Premises

- Where buildings are not fit for purpose and have become vacant, and it can be demonstrated that conversion of the existing buildings is not viable or practicable and will not allow a new use to operate, then consideration will be given to redevelopment.

All such proposals will be subject to the approval of a masterplan/development brief to ensure protection of environmental qualities, there is a high-quality design and the density of development is appropriate to the location.



Paisley Town Centre



Johnstone Town Centre

House in Multiple Occupation (HMO)

Planning permission is required where use as a HMO is considered to be a 'material change of use of land or buildings'.

The Town and Country Planning (Use Classes) (Scotland) Order 1997 defines a house as being the sole or main residence of a single person, or any number of persons living together as a family, or not more than 5 residents living together as a single household where care is provided for residents

Where more than 5 residents live together as unrelated individuals this is considered to be a material change of use, requiring planning consent. Planning permission is also required where three or more unrelated persons or three or more families are living in a flat property.

All proposals for a HMO will be considered in relation to the following:

- the potential impact on the amenity of the area;
- the level of provision of HMO's in that locality; and,
- the relevant Local Development Plan policy and associated supplementary guidance which relates to the application site.

Other requirements

A building warrant may be required if structural alterations are proposed to be undertaken to the premises for which a HMO licence is sought. The applicant should contact Renfrewshire Councils Building Standards Section to discuss the need for a Building Warrant.

The licensing of HMOs operates under the Housing (Scotland) Act 2006. A license may be required where any living accommodation is occupied by 3 or more persons who are not either:

- All members of the same family, or,
- All members of two families, and which accommodation is (a) a house, or is, or forms part of, any premises or group of premises owned by the same person and its occupants share one or more of the basic amenities with each other; and is occupied by those 3 or more persons as an only or main residence, or (b) of such type, or which is occupied in such manner, as the Scottish Ministers may specify.

Affordable Housing

Early discussion (pre-application stage) with the planning authority will be required to establish affordable housing requirements and the most appropriate mix of affordable housing to be provided on all sites of 50 or more dwellings.

Figure 4 sets out the stages in the process of assessing a site for affordable housing.

The provision of affordable homes should be fully integrated into new development and requires to be delivered on site in the form of:

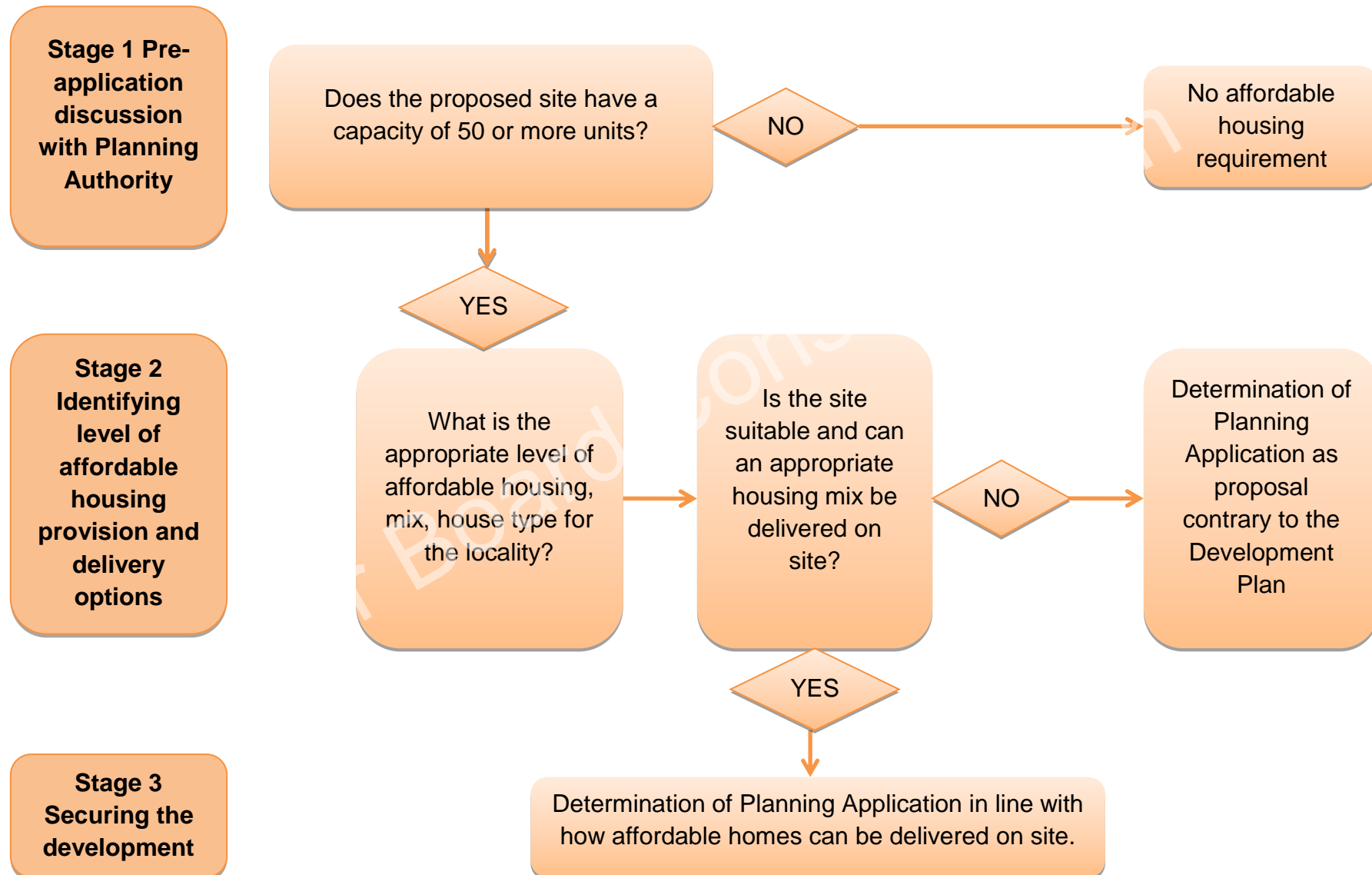
- completed affordable units;
- units completed by the developer and subsequently transferred to the Council/ Registered Social Landlord on a design and build basis. These units must also comply with the Scottish Government's grant funding criteria in terms of their design standards; or,
- the provision of an appropriate area of serviced land being transferred to the Council or a Registered Social Landlord for the development of the required number of affordable units. Where land is transferred, it should be provided fully serviced and free of constraints.

The affordable housing provision can be across a range of tenures, including social housing for rent, mid-market rented accommodation, shared ownership housing, shared equity housing, housing sold at a discount (including plots for self-build), and low-cost housing without subsidy.

Where new affordable homes includes the provision of intermediate housing for rent or sale, discount sale and entry level market starter homes, units may require a burden to be placed on their title to ensure that future sales are made to priority groups at an affordable cost. Each site will be considered on its merits.

When a new planning application is submitted which would increase the overall capacity of a site, the additional units only would be required to meet the terms of Policy P3. If the planning application relates to amendments which would not affect overall site capacity including changes to layout or house types – the terms of the policy would not apply.

Figure 4 - Affordable Housing Flowchart – Stages in the process of assessing a site for affordable housing



Gypsy/Travellers and Travelling Show People Development

Development sites for Gypsy/Travellers and Travelling Show people will be considered in relation to the following criteria:

- **Residential environment** - Sites require to provide a good residential environment, amenity and setting. Sites are required to complement and be compatible with the character and appearance of the surrounding area;
- **Density** - The number and nature of the pitches provided should be appropriate to the site size and general area;
- **Layout** - Where sites are to be occupied on a permanent basis, the siting/placing of caravans, chalets or other accommodation should ensure that prospective occupants have an acceptable level of residential amenity with regards to privacy and spacing;
- **Access** - A suitable means of access requires to be provided. The site should be well connected and/or is within a reasonable walking distance from services, education, community uses, health services, public transport and other facilities;
- **Services for the site** - The development makes provision for essential infrastructure such as water, sewerage disposal, electricity, lighting, refuse collection, internal roads as well as access for emergency vehicles. Provision of power through a sustainable means is encouraged;
- **Boundaries and landscaping** - Boundaries and landscaping around sites should be sympathetic to, and in keeping with, the surrounding area. Parking and storage of material and/or equipment on the site should be satisfactorily accommodated and appropriately screened where required

Green Network and Infrastructure

The provision of good quality green space, paths, cycle routes and associated green and blue networks, is an important element of place making and regeneration. There is a strong case for investing more in nature, especially in close proximity to where people live and work, as this can deliver improvements in physical activity through sport and recreation and mental health, as well as having a positive impact on the long-term sustainability and quality of communities created.

New Development Proposals will be considered against the following criteria:

- Appropriate provision is made for the continuing use of active travel networks;
- Green Networks, open space, amenity space and recreational space within or alongside the boundary of the development proposal will be integral to the design and layout of the development;
- Access is provided to green networks from new developments
- Any potential impact to existing or proposed green networks, core paths or rights of way and other important routes, can be adequately addressed and/or suitable alternative provision is made;
- Development should enhance the green network by ensuring that on site green infrastructure is incorporated and designed to be integral to the overall development and will link into and enhance the wider green network; and,
- New development should incorporate the 'Getting It Right for Every Child' approach.



Open Space

Areas of open space, recreation provision and amenity space set out in the Proposals Maps will be protected from development. Areas of open space not shown on the Proposals Maps including, play parks and small areas of recreation and amenity space will be protected from development, unless the following criteria can be satisfied:

- The proposed development is for recreation or physical activity use and it improves the quality and range of facilities;
- There is a long-term excess in the provision of pitches, playing fields and public open space in the wider area, taking into account long term strategy for provision, estimated demand and overall recreational and amenity value;
- The development will not lead to a significant net loss of open space;
- The proposal incorporates the retention or enhancement of the existing facilities on part of the site, while enabling redevelopment of the surplus section of the site for another purpose. In addition, there is no significant adverse impact on the amenity of nearby residents;
- Alternative provision of equal or greater community benefit and accessibility would be made available on another site;
- The benefit of the proposed development to the public clearly outweighs the present open space value of the site;
- The amenity of the surrounding area will not be significantly affected by the loss of open space and by the nature of the proposed development.

Open Space Provision in New Developments

Open space, amenity space and play provision shall be located in new developments, where appropriate, in a way which contributes to the site, surrounding area and the green network. The provision for open space will require to be in accordance with the Council's 'Renfrewshire's Places' Design Guidance. This document is available to view at www.renfrewshire.gov.uk.



Regional Parks

Development within Clyde Muirshiel Regional Park will only be permitted where it can be demonstrated that:

- It is for a recreational, leisure or tourism use which will bring social or economic benefits to the area;
- There is no significant impact on the nature conservation, landscape character or heritage resources;
- The development does not cause significant conflict with neighbouring land uses;
- There are opportunities for the provision of active travel and/or habitat networks to be maintained or enhanced;
- Any proposed building or structure is appropriate in design and scale to its surroundings;
- The development has no significant impacts on the visual amenity of the area; and,
- Development does not prevent or significantly impact upon recreational access to the surrounding area.



Green Belt

Acceptable forms of Development in the Green Belt

Development within the green belt is considered appropriate in principle where it is for the purposes of or is in support of the following uses:

- Agriculture, woodlands and forestry, horticulture;
- Recreational and commercial uses compatible with an agricultural or natural environment setting;
- Essential infrastructure such as digital communications infrastructure, electricity grid connections and/or new active travel and transport routes;
- The development is a tourism development acceptable under Policy E4 of the Renfrewshire Local Development Plan and complies with the Tourism criteria set out within this Development Guidance;
- The conversion and rehabilitation of redundant buildings to residential use;
- Extensions to existing residential units, where the original building will remain the dominant part of the overall development;
- Residential institutions (Class 8), the conversion of existing redundant buildings to residential institutional use;
- Re-use/redevelopment of institutional premises;
- The extension/expansion of existing industrial/commercial and business premises and/or operations and the conversion of redundant buildings to industrial/commercial and business use, providing they do not have an unacceptable impact on the surrounding environment or amenity of the area;
- Mineral extraction;
- Disposal of waste;
- Cemeteries; and,
- Renewable energy developments.

Green Belt Development Criteria

All developments within the green belt require to be assessed against the following criteria:

- No loss of prime quality agricultural land or agricultural land of lesser quality that is locally important in line with Scottish Planning Policy;
- Impact on wild land is minimised and mitigated against;
- Traffic and access infrastructure can be sensitively accommodated;
- No significant effects on public water supply and water courses from any pollution risk;
- Develop links to the existing green network and active travel routes or provides new enhanced routes, where appropriate;
- Development will not have a significant impact on the local landscape character and where appropriate will enhance the local landscape;
- Proposals to protect and provide access to open space have been incorporated;
- Development layout, design and siting should respect and incorporate important landscape features such as traditional field enclosures, water courses, woodlands and skylines;
- It can be demonstrated that there is careful consideration of the design, scale and grouping of any buildings and infrastructure;
- Appropriate landscaping proposals have been incorporated;
- There are adequate services available for the development, or this can be provided;
- There is no significant detrimental effect on identified nature conservation interests, including species and habitats; and,
- All buildings for conversion are to be structurally sound and capable of conversion without substantial rebuilding.

Housing in the Green Belt

Proposals for development of residential use in the Green Belt will only be permitted where it can be demonstrated that the development is justified against most of the following criteria:

- The development is required to maintain and support an established activity that is suitable in the green belt and is ancillary and within the boundary of the established use;
- It is demonstrated that there is a need for the residential use to be located out with the settlement;
- Buildings which have special architectural, traditional or historic character which contribute to the setting of the area may be converted or re-used for residential where it can be demonstrated that it is no longer suitable for the purpose originally intended, with the original building forming the main part of the development;
- The proposal demonstrates outstanding quality of design, is of an appropriate scale within its setting and makes a positive contribution to the site and surrounding area;
- The proposal integrates with, complements and enhances the established character of the area and has no significant detrimental impact on the landscape character; and,
- Replacement dwellings should reflect the specific character of the location, fit well with the surrounding landscape and achieve a high design standard and environmental quality. Replacement dwelling(s) should be of a similar scale, character and massing to other residential units in the surrounding area.

Natural Heritage

Natural heritage makes an important contribution to the local character, identity and quality of an area. A high quality natural environment, water environment, landscape setting and diverse biodiversity and habitats complement a place and these assets should be protected with opportunities for enhancement.

All developments require to follow the principles of the mitigation hierarchy set out in Figure 5. Development proposals should prevent or avoid impacts on the natural environment, if this is not possible then measures should be made to minimise and reduce any unavoidable impacts. The last resort would be the consideration of compensation planting or habitat provision to help restore the natural environment.

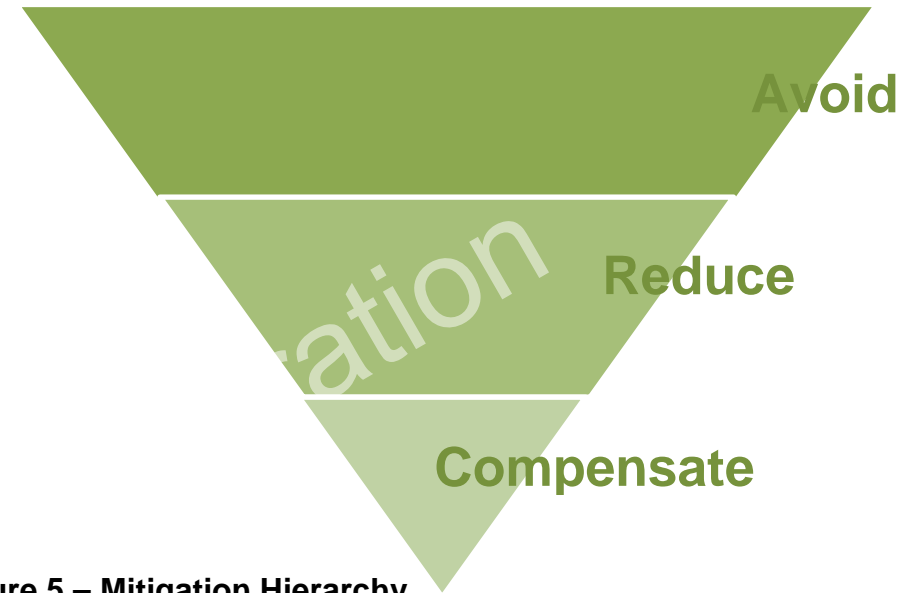


Figure 5 – Mitigation Hierarchy

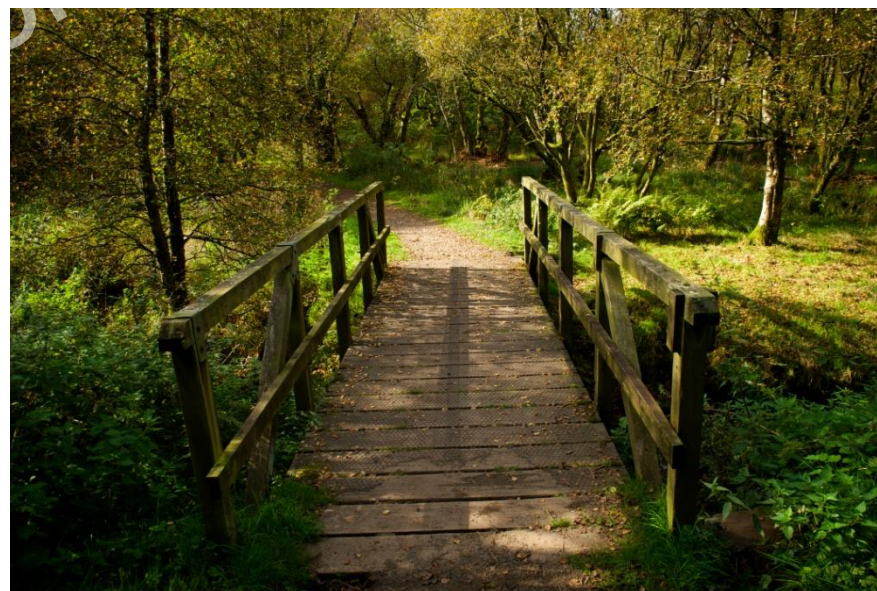


Trees, Woodlands and Forestry

Trees, woodlands and forestry should be maintained and where possible enhanced throughout Renfrewshire by:

- Protecting ancient semi-natural woodland, along with other woodlands, hedgerows and individual trees from adverse impacts resulting from development;
- Promoting the planting of broad leaved and native species;
- Protecting and promoting positive management of trees for their nature conservation interest;
- Promoting the development of community woodlands, particularly where they are close to urban areas and where links to the green network and wider green belt and neighbouring settlements may be facilitated; and,
- Encouraging the planting of appropriate trees as an integral part of new development.

In line with the Scottish Government's control of woodland removal policy where woodland is removed in association with development, developers will be expected to provide compensatory planting.



DELIVERING THE ENVIRONMENT STRATEGY - DEVELOPMENT GUIDANCE

Biodiversity

To maximise the benefits for a diverse natural environment which contribute to sustainable economic growth, the following criteria will require to be considered:

- Development should not significantly affect existing species, habitats and ecosystems;
- Design and layout of sites should encourage species dispersal through improving connectivity and habitat availability; and,
- Adverse effects on species and habitats should be avoided with mitigatory measures and implementation strategies provided or compensation provided by biodiversity offsetting.

Where there is likely to be an adverse impact on biodiversity an ecological appraisal will be required.



International Designations

Development proposals should consider potential significant impacts on Natura 2000 sites. Development must not have an adverse effect on the Inner Clyde Special Protection Area (SPA) with over-wintering Redshank population; Renfrewshire Heights SPA with a breeding population of Hen Harrier or the Black Cart SPA with over-wintering Whooper Swans all internationally important birds.

Development proposals within 150m of Inner Clyde SPA, Whooper Swan feeding area around Black Cart SPA or within/adjacent to Renfrewshire Heights must be accompanied by an expert assessment to inform a project-level Habitats Regulations Appraisal (HRA). This may require a study of Redshank/Swan behaviour in the affected areas of the SPA, which is likely to involve a survey over at least one wintering season. Depending on results, it may require mitigation measures to address issues caused by the development. Pre-application discussion with SNH regarding preparation of the assessment is recommended. Account should also be taken of the HRA undertaken in preparation of the Renfrewshire Local Development Plan.

The Council as 'Competent Authority' will carry out the HRA. If the proposal is likely to have a significant effect, the Council must undertake an Appropriate Assessment of the implications of the development.

Development which could harm a Natura 2000 site will only be approved in exceptional circumstances.

National Designations

Development will require to safeguard the nature conservation value of Sites of Special Scientific Interest (SSSI). Development will only be permitted where it will not significantly affect the integrity of the site or qualities for which it has been designated or that any adverse effects are clearly outweighed by social, economic or environmental benefits of national importance.

Wild Land

Wild land is a nationally important asset. Development in areas of wild land may be appropriate in some circumstances. Development will be required to demonstrate

that any significant effects on the qualities of the wild land can be overcome by siting, design or other mitigation.

Local Designations

Development will require to protect and where possible enhance Sites of Importance for Nature Conservation (SINCs) and Local Nature Reserves (LNRs) to ensure that their nature conservation interest is maintained. Development should promote links between sites which enable species dispersal.

Development proposals for sites covered by the SINC designation will be assessed against the following criteria:

- The social and economic benefits of the development proposal;
- Any significant impact on the nature conservation interest of the site being mitigated; and,
- The provision of satisfactory compensatory nature conservation benefits.

Built and Cultural Heritage

Conservation Area

Development within conservation areas will require to protect, preserve and/or enhance the visual amenity and historic/architectural character, local landscape character, including the setting, buildings and open space.

The following criteria must be considered for development within Conservation Areas:

- High standards of design must be demonstrated which have regard to the architecture and character of the area, and ensure the maintenance and enhancement of local distinctiveness;
- New built development must have regard to massing, height, fenestration and building materials;
- Proposals should have regard to their wider impact in terms of visibility from external locations and the preservation of landmarks and views from and through the development site;

- The redevelopment of gap sites will be encouraged, such development should enhance the character and distinctiveness of the conservation area;
- Encourage the redevelopment and refurbishment of less important listed and unlisted properties that are in need of substantial and appropriate repairs; and,
- Trees deemed to contribute to the overall townscape should be retained and provision made for their future management. Where this is not appropriate replacement trees of the same species will be required.

Proposals for development adjacent to a Conservation Area should not have a significant adverse effect on its architectural and historic character and wider setting.



Listed Buildings

Listed buildings and their settings require to be protected and enhanced.

Sensitive restoration, re-use and maintenance of listed buildings is encouraged.

Development proposals relating to listed buildings and their settings will require to consider “Managing Change in the Historic Environment” which is a series of guidance notes produced by Historic Environment Scotland and cover topics about making changes to the historic environment.

Proposals require to meet the following criteria:

- Use of sympathetic and appropriate materials and finishes;
- Extensions/alterations do not significantly detract from the character of the building;
- The massing, scale and form of the development should be appropriate;
- Landscaping and boundary enclosures preserve the setting of the listed building; and,
- Planting should be reinforced or re-established.

Enabling Development

Enabling development as a potential generator of funding to assist in the consolidation and/ or rehabilitation of buildings will be considered in principle. The enabling development should not materially harm the heritage values of the place or its setting. It should also meet the following criteria:

- Development will secure the long-term future of the place;
- It will meet the costs of resolving problems arising from the inherent needs of the place;
- Sufficient financial assistance is not available from any other source;
- It can be demonstrated that the amount of enabling development is the minimum necessary to secure the future of the place;
- The development does not significantly conflict with other planning policies or guidance; and,
- The resultant development should be sited carefully to preserve or enhance the character and setting of the historic building.

Demolition of Listed Buildings

There is a presumption against demolition or other works that adversely affect the special interest of a listed building or its setting.

No listed building should be demolished unless it can be clearly demonstrated:

- That the building is not of special interest;
- That the building is incapable of repair;
- That the demolition of the building is essential to delivering the significant benefits to economic growth or the wider community; and,
- That the repair of the building is not economically viable and that it has been marketed for a reasonable period.

Scheduled Ancient Monuments and Archaeological Sites

Scheduled Ancient Monuments and their settings require to be safeguarded. Proposals for development which would adversely affect the site or setting of a Scheduled Ancient Monument will not be permitted. Most works on scheduled monuments require scheduled monument consent from Historic Environment Scotland.

Unscheduled Sites of Archaeological Significance

Protection and enhancement of unscheduled sites of archaeological significance and their setting is important.

When considering development proposals affecting a location that is known to, or considered likely to contain an archaeological interest, the development will require to meet the following criteria:

- The overall benefit of the development will outweigh the benefits of preserving the archaeological resource;
- That there is no suitable alternative location for the development;

- The siting and design of the proposal will minimise the damage to the archaeological resource;
- Where approval is given, and preservation cannot be achieved, adequate provision should be made by the developer for the excavation and recording of the site remains (prior to and during development); and,
- Where an archaeological interest becomes apparent during development, provision should be made by the developer for appropriate recording of the site remains.

Proposals for development which may have an adverse impact on sites of archaeological significance shall not be permitted.

Where it is demonstrated that preservation cannot be achieved, excavation and recording of the site may be undertaken.

Development will not be permitted to proceed until suitable excavation and recording has taken place.

Gardens and Designed Landscapes

Gardens and Designed Landscapes offer significant opportunities for education, employment, tourism and recreation.

They also provide a valuable green network and make a major contribution to the wider landscape of Scotland. Gardens and designed landscapes are by their nature evolving.

Protection and enhancement is important and development will require to:

- Identify and understand the significance of a garden and designed landscape and identify the current baseline;
- Assess the potential impact of a proposed change on the site and its setting; and,
- Mitigate by identifying options to avoid, reduce or compensate for adverse impacts, and to enhance positive benefits.

The Water Environment

The water environment has been progressively improving over the years and to assist in continuing this trend developments should mitigate impacts on the water environment, as well as enhance biodiversity and recreational opportunities.

The River Basin Management Plan for the Scotland River Basin District sets out actions to improve water quality, improve physical condition, improve access for fish migration, improve water flows and levels, and assist in preventing the spread of invasive non-native species. To help deliver the objectives set out in the River Basin Management Plan, careful consideration is given to the location and design of new development in, around or affecting water bodies. Developments require to make provision to improve the water environment, inclusive of groundwater.

The Local Flood Risk Management Plan for Clyde and Loch Lomond Local Plan District details how and when the actions to deliver the goals set in the Strategy are to be delivered, which organisation is responsible, and how they are to be funded.

Developments with a marine component or implication along the Clyde provided the proposed development is consistent with Scotland's National Marine Plan and the emerging Regional Marine Plan for Clyde Marine Region will be supported.

All marine proposals should identify environmental impacts and mitigate against these to ensure there are not any unacceptable adverse impacts.

The following criteria requires to be considered for all proposals:

- Development will not significantly compromise the water environment in terms of its ecological status and should seek to improve the water body status and not prevent it from being able to achieve good ecological status in the future;
- There will be no significant impact on water quality in adjacent watercourses or areas downstream;
- Natural hydrology should influence the site's overall design and layout, encouraging minimal engineering works;
- Design of development should integrate SUDS and/or provide innovative landscapes which can retain flood water as well as deal with water quantity, water quality and amenity;
- The development would lead to the creation, enhancement or better management of existing habitats and biodiversity within the water environment, leading to control of invasive non-native species and/or improvements to fish passage; and,
- Protection and enhancement of watercourses, floodplains and wetlands which are important contributors to the water environment for alleviation of flood risk, wildlife, recreation and the amenity needs of the community

DELIVERING THE ENVIRONMENT STRATEGY - DEVELOPMENT GUIDANCE

Noise

New proposals for residential development should avoid areas where aircraft noise levels are in excess of 57dB LAeq.

Applications for residential development will be refused unless a noise assessment and noise-insulation measures can demonstrate that an appropriate level of residential amenity could be achieved.

When preparing new residential development proposals early pre-application discussions with the planning authority are advised to confirm whether a noise assessment is required to demonstrate an appropriate level of residential amenity.

Air Quality

Any potential significant impact on local air quality from development within or adjacent to the existing Air Quality Management Areas will require to be mitigated.

In assessing an application for such developments, the submission of an assessment of the likely impact of the development on air quality and any mitigation measures that are proposed will be required. Appendix 1 sets out what would require to be submitted as part of an air quality assessment.



Natural Resources - Minerals

Proposals for the winning and working of minerals will be permitted, where appropriate, when related to existing workings or in exceptional cases, where resources of a particular type or quality are unavailable from a suitable alternative source

Proposals will be supported provided that:

- a need can be demonstrated for the mineral which cannot be met from existing worked deposits or renewable, recycled or secondary sources; and,
- there is a restoration and aftercare plan that includes for example, progressive restoration over the lifetime of the operation, remediation of dereliction, stabilisation actions, creation of natural habitat, new opportunities for recreational use, the long-term monitoring of the water environment and an ongoing maintenance plan.

All proposals for minerals extraction will require to provide detailed information regarding potential impacts of the development, proposals for control, mitigation, monitoring and restoration, so that a full assessment can be made including addressing:

- disturbance, disruption and noise, blasting and vibration, and potential pollution of land, air and water;
- impacts on local communities, individual houses, sensitive receptors and economic sectors important to the local economy;
- benefits to the local and national economy;
- cumulative impact;
- effects on natural heritage, habitats and the historic environment;
- landscape and visual impacts, including cumulative effects;

- transport impacts; and,
- restoration and aftercare

Proposals for the prior extraction of minerals from development sites will be supported in principle subject to the same full assessment.

There is a presumption against all surface coal extraction out with the areas of search identified in the Glasgow and the Clyde Valley Strategic Development Plan. Any applications for surface coal extraction will be assessed against the criteria set out in Scottish Planning Policy.

Natural Resources - Soil

New development should avoid the unnecessary disturbance of areas of peatland or carbon-rich soils. There will be a presumption against development which would involve significant draining or disturbance of peatland or carbon-rich soils.

- No development will be permitted unless steps are taken to mitigate negative development impacts;
- An Ecological Assessment will be required for a development proposal on or likely to affect a nearby designated site, or where there is evidence to suggest that a habitat or species of international, national and local importance exist on the site; and,
- A Construction Environmental Management Plan may be required to address any potential negative impacts on designated sites, protected species, peatlands or carbon-rich soils, waterbodies or local biodiversity during the construction phase of a development.

Contaminated Land

In assessing an application for development, there is a requirement to provide the necessary information to establish whether contamination is present or not.

This shall be in the form of a report from a professionally qualified source and may involve undertaking site investigations and risk assessments to identify any actual or possible significant risk to public health or safety, or to the environment that could arise from the proposals.

Where appropriate, consideration should also be given to both radioactive and nonradioactive sources of contamination. Where there is known or potential contaminated land, gases or ground instability on a site, any development should take account of this in both its design and the type of use proposed. Should the development be approved, conditions may require to be attached to the consent to ensure that the necessary remediation action will be undertaken to prevent unacceptable risks to human health or the environment before the development proceeds.

Pipelines and Major Hazards

Within Renfrewshire there are a number of high pressure pipelines and sites where hazardous substances are stored. For each of these sites a consultation zone has been established by the Health and Safety Executive to ensure that only appropriate new or replacement development takes place and that there is no increased risk to public safety.

Proposals for development involving the use, transmission or storage of hazardous substances will not be supported where there would be significant adverse impacts on the environment or health and safety.

Burial grounds and Cemeteries

The development of new cemetery sites/graveyards or extensions to existing sites has the potential to result in an impact on the local water environment and, the groundwater underlying the site. When planning such sites or extensions to an existing site, applications will require to be supported by a site investigation to consider the impact on the water environment. The extent of site investigation

should be proportionate to the size of the proposed development.

Planning applications for burial sites should be supported by the information detailed in SEPA's Groundwater Protection Policy and SEPA's Guidance on Assessing the Impacts of Cemeteries on Groundwater.



APPENDIX 1 – ADDITIONAL INFORMATION FOR ASSESSMENT

Applications for development may also require the following additional information for assessment:

Transport Assessment

A transport assessment should be carried out where a change of use or new development is likely to have significant transport implications. A transport assessment is undertaken to assess the potential impact from traffic and transport as a result of implementing a development. It can also identify measures which reduce the need to travel, promoting more sustainable patterns of development, reducing car use and encouraging walking, cycling and use of public transport. An early indication of the scale of any potential transport impact arising from a development will influence the level and type of assessment required.

A transport assessment should identify the main transport issues relating to the proposed development and should detail the following:

- Existing infrastructure and characteristics of the site and its surroundings;
- Baseline transport data;
- Travel characteristics including pedestrian and cyclist information;
- Existing public transport provision; and,
- Details of any proposed transport improvements or potential transport intervention projects;

- Details of the highway network surrounding the site;
- Description and details of proposed development;
- Proposed access arrangements for walking, cycling, public transport and vehicles;
- Person trip generation for the proposed development;
- How the location, layout and design of the development will influence the choice of travel mode;
- The proposed parking strategy; and,
- The transport implications of freight or service operations.

The above requirements are not exhaustive, the scope of the assessment should be discussed with the planning authority as early as possible in the process. More details can be found in The Scottish Government's "Transport Assessment and Implementation: A Guide".

APPENDIX 1 – ADDITIONAL INFORMATION FOR ASSESSMENT

Drainage Assessment

Drainage assessment should provide an assessment of the drainage issues relevant to development proposals with the identification of a satisfactory provision of sustainable drainage infrastructure where practical.

An assessment should include the following information:

- An examination of current and historical drainage patterns;
- A detailed plan of the development proposal;
- Information on how drainage design provides waste and sustainable surface water drainage;
- Details of how Sustainable Urban Drainage Systems (SUDS) will be incorporated into the development, where possible integrating drainage within landscape, green networks and open space;

- Pre and post development calculations to indicate surface water drainage requirements, including storage;
- Demonstration that the level of treatment and the available treatment for SUDS is adequate;
- Soil classification for the site;
- Subsoil porosity test including the location of suitable drainage and/or infiltration devices;
- Assessment of flood risk, if required; and,
- Maintenance arrangements.

Further advice and guidance is contained within the Council's Drainage and Flood Assessment Advice Note.

Flood Risk Assessments

Development proposals will be allowed in fluvial and tidal flood risk areas subject to sustainable flood risk management measures being incorporated into the development, with an assessment setting out the following:

- Identifying and quantifying the source of flooding;
- Assess the level of risk of flooding arising from and to the proposed development;
- Demonstrate that the proposed development is compatible with the risk of flooding;
- Provide a description of measures to protect against or manage flood risk ensuring any loss of flood storage capacity is mitigated to achieve a neutral or better outcome;

- Indicate how surface water discharge is to be managed in terms of flood risk;
- Include acceptable measures to mitigate against the potential effects of flooding on and off the site arising from the proposal;
- Demonstrate that the proposal will not have an adverse impact on a flood prevention scheme; and,
- Specify and assess maintenance implications.

Further advice and guidance is contained within the Council's Drainage and Flood Assessment Advice Note.

APPENDIX 1 – ADDITIONAL INFORMATION FOR ASSESSMENT

Design and Access Statements

Design should be considered as an integral part of development proposals. Developments should be designed in relation to the specifications and requirements of the site as well as the character and amenity of the surrounding area. All development should be inclusive and be able to be used and accessed by everyone.

Certain applications for planning permission require to be accompanied by a statement explaining:

- the design principles and concepts that have been applied; and
- How issues relating to access to the development have been dealt with.

Environmental Impact Assessment

This is an assessment of the likely significant environmental effects arising from a development. An Environmental Impact Assessment (EIA) sets out mechanisms for reducing, avoiding or offsetting any potential adverse impacts.

The majority of planning applications do not require an EIA and for those developments that do, the overall planning application process remains largely unchanged.

Some types of development automatically require an EIA, development falling within a description in Schedule 1 as outlined in the Environmental Impact Assessment (Scotland) Regulations 2011. These tend to be larger developments which are likely to have significant environmental effects. Developments of a type that are listed in Schedule 2 of the 2011 EA Regulations will require an EIA if it is likely to have a significant effect on the environment, by virtue of factors such as its size, nature or location. Further detailed guidance is provided in Planning Circular 3/2011: The Town and Country Planning (Environmental Impact Assessment) (Scotland) Regulations 2011.

Site Investigations

The responsibility for the safe development of a site rests with the developer. Site investigations may be required to identify potential contamination, noise and/or air quality issues.

To ensure that the land and site is suitable for the intended use or development, an assessment should set out the following information:

- Identification of the source(s) of any potential impact;
- Details of the likely requirements for remediation or mechanisms for reducing, avoiding or offsetting any potential adverse impacts; and,
- Details of monitoring and evaluation of remedial measures.

Further advice and guidance is contained within the Council's Contaminated Land Guidance.

APPENDIX 1 – ADDITIONAL INFORMATION FOR ASSESSMENT

Noise Assessments

The structure and content of a noise assessment report should include the following:

- A description of the site and proposal;
- Set out the agreed criteria for assessment;
- Details of noise measure surveys undertaken, data summary and additional calculations;
- Details of the techniques and equipment used in measurement;
- Details of the noise source and receptors;
- An impact assessment; and,
- Noise mitigation measures, implementation and monitoring.

Air Quality Assessments

An Air Quality Assessment should consider the following:

- Existing air quality in the study area (base year);
- Predict the future air quality without the proposed development in place (future base year);
- Future air quality with the development in place; and,
- Measures required to mitigate the potential impact on air quality.

There is a wide range of assessment methods available for air quality assessment. The Local Air Quality Management Technical Guidance (TG09) and the Environmental Protection UK Development Control: Planning and Air Quality (2010 Update) should be considered when determining the assessment methodology.

The proposed assessment methodology and datasets should be agreed with the Council prior to the commencement of the assessment.

Consideration of the Renfrewshire Council's Air Quality Action Plan 2 and the Air Quality Management Areas within Renfrewshire should be taken into account when undertaking an Assessment.



For Board Consideration

This publication can be made available in Braille, large print or audio.

If you would like information in another language please ask us.

如欲索取以另一語文印製或另一格式製作的資料，請與我們聯絡。

اگر آپ کو معلومات کسی دیگر زبان یا دیگر شکل میں درکار ہوں تو برائے مہربانی ہم سے پوچھئے۔

ਜੇ ਇਹ ਜਾਣਕਾਰੀ ਤੁਹਾਨੂੰ ਕਿਸੇ ਹੋਰ ਭਾਸ਼ਾ ਵਿਚ ਜਾਂ ਕਿਸੇ ਹੋਰ ਰੂਪ ਵਿਚ ਚਾਹੀਦੀ, ਤਾਂ ਇਹ ਸਾਥੋਂ ਮੰਗ ਲਓ।

Jeżeli chciałoby Państwo uzyskać informacje w innym języku lub w innym formacie, prosimy dać nam znać.

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